



AGENDA
SPECIAL CITY COUNCIL
PLANNING COMMISSION MEETING
TUESDAY, JUNE 23rd, 2015, 5:30 P. M.
SAN DIMAS COUNCIL CHAMBER
CONFERENCE ROOM
245 E. BONITA AVE.

CITY COUNCIL:

Mayor Curtis W. Morris
Mayor Pro Tem Jeff Templeman
Councilmember Emmett Badar
Councilmember Denis Bertone
Councilmember John Ebiner

PLANNING COMMISSIONERS:

David Bratt – Vice Chair
John Davis
Stephen Ensberg
M. Yunus Rahi

1. CALL TO ORDER

2. ORAL COMMUNICATIONS

(For anyone wishing to address the City Council on an item on this agenda. Under the provisions of the Brown Act, the legislative body is prohibited from taking or engaging in discussion on any item not appearing on the posted agenda.)

- a. Members of the Audience

3. STUDY SESSION

- a. A petition to initiate a general plan amendment and zone change to allow the development of a 28 unit single-family residential subdivision for properties located at 741 N. San Dimas Avenue, 811 N. San Dimas Avenue and 182 W. Allen Avenue.

4. ADJOURNMENT

The next meeting is on Tuesday, June 23, 2015, 7:00 p.m.



Notice Regarding American with Disabilities Act: In compliance with the ADA, if you need assistance to participate in a city meeting, please contact the City Clerk's Office at (909) 394-6216. Early notification before the meeting you wish to attend will make it possible for the City to make reasonable arrangements to ensure accessibility to this meeting [28 CFR 35.102-35.104 ADA Title II].

Copies of documents distributed for the meeting are available in alternative formats upon request. Any writings or documents provided to the City Council regarding any item on this agenda will be made available for public inspection at the Administration Counter at City Hall and at the San Dimas Library during normal business hours. In addition most documents are posted on the City's website at cityofsandimas.com.

Posting Statement: On June 9, 2015, a true and correct copy of this agenda was posted on the bulletin board at 245 East Bonita Avenue (San Dimas City Hall), 145 North Walnut Avenue (Los Angeles County Library), 300 East Bonita Avenue (United States Post Office), Von's Shopping Center (Puente/Via Verde Avenue) and the City's website www.cityofsandimas.com/minutes.cfm



Staff Report

TO: Planning Commission, Honorable Mayor, and Members of the City Council *For the Meeting of June 23, 2015*

FROM: Planning Department, Luis Torrico, Associate Planner 

INITIATED BY: Walbern Developments

SUBJECT: A petition to initiate a general plan amendment and zone change to allow the development of a 28 unit single-family residential subdivision for properties located at 741 N. San Dimas Avenue, 811 N. San Dimas Avenue and 130, 136 & 182 W. Allen Avenue.

BACKGROUND

At the October 14, 2014 City Council meeting, the City Council approved a policy on study sessions for certain land use and zoning changes. The purpose of the study session is to accommodate preliminary consideration by the City Council and the Planning Commission for specified development projects, prior to petition of initiation of associated applications.

The applicant has had two previous study sessions for the subject site. The first was held on November 25, 2014 which consisted of a ±75 unit small-lot residential subdivision. The Council denied the request based on the project not complying with the Generalized Criteria/Overriding Principles which included, but not limited to, substandard lot sizes and incompatible density. Subsequently the applicant revised their proposal for their second study session held on January 27, 2015, which consisted of a 28 unit single-family residential subdivision. After considering the revised request, the City Council/Planning Commission continued the request to allow the applicant to provide additional information related to setbacks along San Dimas Avenue, conflicts between conceptual plan and existing utilities, and conflicts between the proposed design and horse keeping opportunities for properties adjacent to the project.

At the March 10, 2015 City Council meeting the applicant requested a study session; however, after reviewing the request, the Council felt that the applicant had not adequately addressed all of the Council's concerns from the January 27, 2015 Study Session. Therefore, the Council denied the request and directed the applicant to continue working with Staff.

The applicant has met with Staff to discuss the Council's concerns and has submitted plans that addressed those concerns. Subsequently, on May 21, 2015, the applicant requested a study session, which was granted by the Council. The revised submittal consists of 28 new single-family residential lots and one lot that is developed with an existing single-family home. The lot will be split to create one lot for the new project area and the existing home will remain on the remaining portion of the lot, which will be remodeled and resold. Therefore, the project includes 29 lots, one of which is an existing home to remain; however, the analyses and project acreage will be limited to the new 28 lots.

The proposed single-family residential subdivision will conform to the development standards of the Single Family (SF) Zone, which will require a general plan amendment and zone change. The project site has been increased to include five parcels (APN's 8392-013-028, -029, -031, -032 & -037), which represent approximately 8.83 acres (see Figure 3).

ANALYSIS

Site and Surrounding Characteristics

The proposed residential development will consist of five parcels that total approximately 9.43 acres. The subject site is located on the west side of San Dimas Avenue south of Allen Avenue and will include one parcel (8392-013-029) that fronts on Allen Avenue and the rear portion of a second parcel (8392-013-029) that fronts on Allen Avenue (see Figure 3). The site will front on and have access from San Dimas Avenue. The current uses on the site include an equestrian center, a nursery, a vacant parcel, and two lots developed with single family residences. The subject site, with exception of the equestrian center, is zoned Single Family Agricultural 20,000 (SF-A). The equestrian center property is zoned Light Agricultural (AL) (see Figure 1). The General Plan designation for the development sites is Single Family Very Low, which has a density of 0.2 – 3 units per acre (see Figure 2).

Surrounding Uses

	Use	Zone	General Plan
North	Edison	Public/Semi-Public	Public/Semi-Public
	Single family residential	Single Family Agricultural -20000	Single Family Very Low (0.2-3)
South	Single family residential	Single Family Agricultural -16000	Single Family Very Low (0.2-3)
East	Residential planned development	Single Family – 7,500 (RPD-8.5)	Low / Medium (6.1-8)
West	Single family residential	Single Family Agricultural -20,000	Single Family Very Low (0.2-3)



Figure 1 - Zoning map

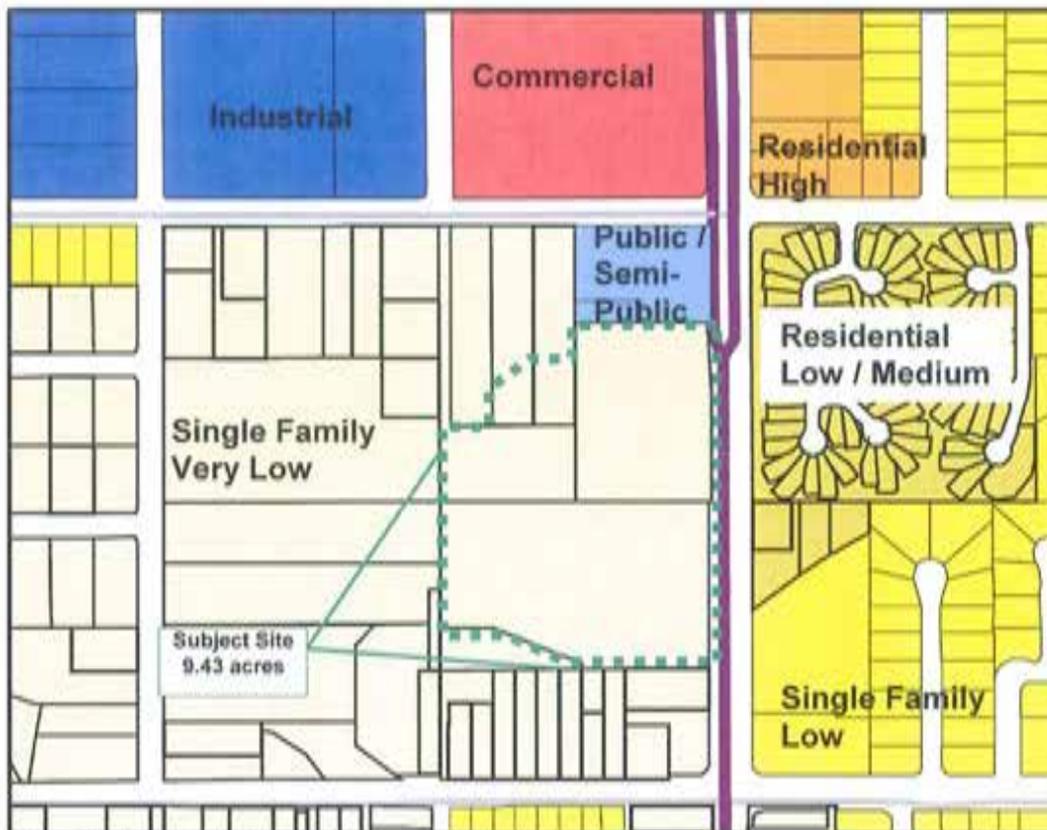


Figure 2 - General Plan



Figure 3 - Aerial

Applicant's Proposal

The project will consist of a 28 unit single-family subdivision which would consist of one- and two-story single-family detached homes with a gross density of 2.97 units per acre. Lot sizes will measure a minimum of 7,500 square feet to comply with direction from the previous study session. Lots will range from 7,505 to 11,850 square feet. Five house plans are proposed ranging in floor area from 2,044 to 3,867 square feet and will include three, four and five bedroom units. Each unit will include an attached garage, which will consist of two- and three-car garages. The project will comply the Single Family (SF) Zone development standards which include, but are not limited to, maximum lot coverage of 35%, height limit of 35 feet or two stories (whichever is less), 20 foot front yard setback and five and 12 foot side yard setbacks.

The streets within the development are proposed to be public streets which will be accessed from San Dimas Avenue. The public street will also provide for future access through to Cataract Avenue, should the parcels west of the site get developed in the future. The access to the project has been relocated farther north than the previous submittal to reduce the amount of grading required. The relocated entry will require the center median to be extended northward to allow for a turning

lane into the project. This will require the existing southbound left-turn lane to be eliminated, which serves a four-unit residential development. That development will only be accessible from northbound San Dimas Avenue.

In addition, the development includes the preservation of the Oak tree grove as a designated open space area. No community recreational facilities are provided as part of the proposal.

The applicant would need to submit the following applications in order to process their request

1.	General Plan Amendment (GPA)	Require City Council (CC) authorization to initiate prior to formal submittal.
2.	Zone Change (ZC)	
3.	Tentative Tract Map (TTM)	Submitted only after CC's authorization to submit GP and ZC.
4.	Development Plan Review (DPRB)	
5.	Tree Removal	
6.	Environmental Review	Required for these types of projects

January 27, 2015 Study Session

At the last Study Session the City Council/Planning Commission did not have many concerns with the overall concept of the project, except for concerns relating to setbacks along San Dimas Avenue, conflicts between conceptual plan and existing utilities, and conflicts between the proposed design and horse keeping opportunities for properties adjacent to the project. The revised submittal has addressed those concerns as follows:

- *San Dimas Avenue Setback*

The revised submittal includes two proposals for the San Dimas Avenue setback north of the entry to the project. One consists of straight sidewalk and the second consists of a meandering sidewalk. Both options will provide a 20 foot setback to rear property line and an 18 foot public right-of-way for a total of 38 feet distance measured from the street/curb face. Both options will also provide sufficient space for substantial landscaping and possible seating areas (see Figure 4).

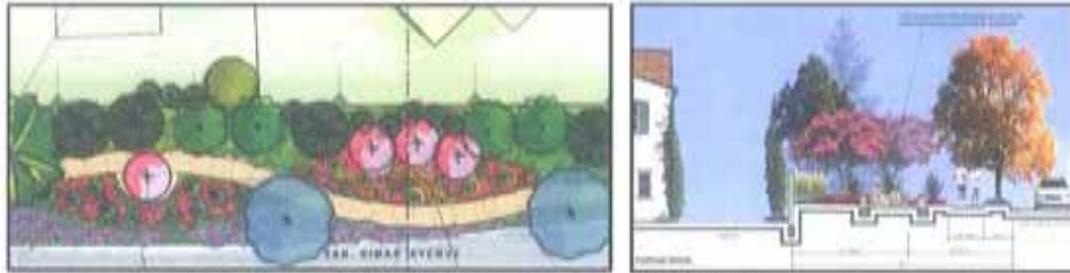


Figure 4 – San Dimas Avenue setback & section north of entry to project

The San Dimas Avenue setback south of the project entry will be limited to an eight foot straight sidewalk due to the topography. There is an approximate 20 foot difference in grade from the sidewalk down to the project area. The slope begins at the back of sidewalk and will be terraced to the rear of the usable portion of the lots. The terraced area will include retaining walls and landscaping to provide a large landscape buffer (see Figures 5 & 6).

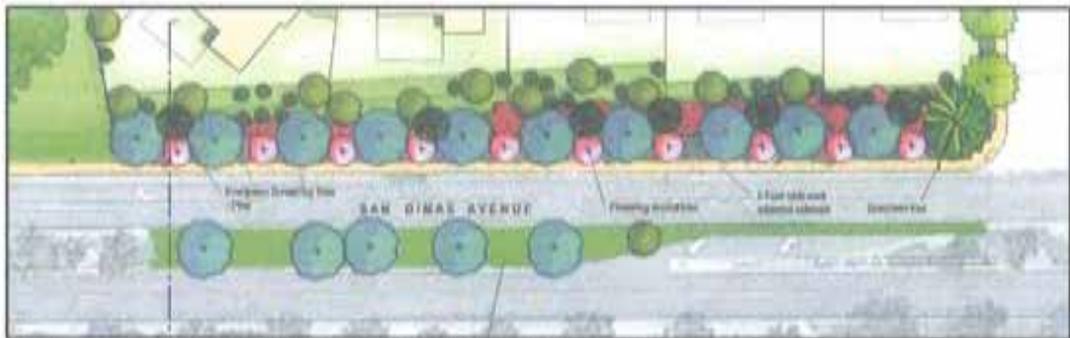


Figure 5 – San Dimas Avenue setback south of entry to project



Figure 6 – Section view of San Dimas Avenue setback south of entry to project

- *Conflicts between conceptual plan and existing utilities*

The location of the existing storm drain and sewer impact the development of three of the proposed lots. The revised submittal proposes to relocate those utilities to locate them in the proposed streets and keep them off the lots where they can pose development barriers.

- *Horse keeping impacts*

Currently there are two existing barns which house horses on lots adjacent to the project site. One of the properties with a barn will be incorporated into the project site, therefore eliminating one of the existing impacts. The new lot, which will have a 55 foot rear yard setback, will not impact the adjacent lot's horse keeping capabilities. The second barn is located approximately 355 feet from the project site, therefore no conflict will exist. Four of the proposed lots will be adjacent to properties that support horse keeping. The setbacks for those lots range from 30 to 80 feet and the adjacent lots have sufficient undeveloped space that would allow for horse keeping and still comply with the 80 foot distance requirements. In addition, should the adjacent parcels be re-zoned to Single Family residential to allow for a similar development, standards could be created, to accommodate interim horse keeping facilities. This may be achieved through an overlay zone or through a specific plan.

Zoning and General Plan Amendment Options

The applicant's proposed zoning and general plan amendment request is limited to the project area; however, limiting the changes the project area may create impacts on adjacent horse keeping lots and could encourage future "piecemealing" approach to zoning. While the applicant has addressed some of those impacts, Staff has to analyze the project as a whole and how it relates to the surrounding uses. As part of the analysis, Staff has to analyze whether the SF-7,500 is the appropriate zoning for the project or whether a specific plan or overlay zone would be more appropriate given the horse keeping concerns. In addition, Staff also has to analyze whether applying the new zoning and general plan changes to the entire block would minimize impacts, create consistency and create a master plan for future development. As previously mentioned, the Applicant is solely requesting approval to re-zone to SF-7500 and amend the general plan to Single Family Low Density for their project area, not the surrounding properties; however, the following zoning options should be considered:

- *Single Family 7,500 Zone*

The Applicant has requested a zone change to the Single Family (SF) 7,500 Zone. The proposed project will comply with all the development standards of the SF-7,500 to include, but not limited to, lot coverage, building height and setbacks. The applicant has addressed some of the horse keeping concerns from the previous study session through the incorporation of additional parcels into the project area and by providing sufficient setbacks to allow future horse keeping facilities to comply with distance requirements as discussed above under *horse keeping impacts*; however, this does not factor in consistency throughout the entire block nor does it consider future development for the adjacent parcels. Applying the SF 7,500 zone to the entire block will provide a framework to allow efficient coordination for future developments in order to provide consistency throughout. In addition, applying the changes to the entire block would allow infrastructure studies to

factor in future SF-7,500 lots that may be developed adjacent to the project area.

- *Single Family 7,500 Zone with an Overlay Zone*

The proposed development would comply with the development standards of the SF 7,500 zone; however, there are no existing standards on how to address existing horse keeping facilities that will become legal non-conforming should the zone change apply to the entire block. Applying an overlay zone on the entire block will allow the inclusion of provisions that may allow horse keeping facilities to remain on an interim basis until those parcels are developed with a similar development that is currently proposed. The overlay zone will allow the non-conforming uses to continue subject to additional development standards to be finalized at application stage, which would otherwise only be permitted through a specific plan. The overlay zone may also be written to sunset after a period of time or once similar SF-7,500 developments are developed.

If an Overlay Zone is applied, it would also make sense to apply the zone and general plan changes to the entire block. Taking this approach will allow Staff and the subsequent project required studies to analyze circulation, utilities and all other project infrastructure as a whole rather than simply looking at the current project site now and conducting separate studies when a future development is proposed on the adjacent lots.

- *Specific Plan*

While the proposed development complies with the SF-7,500 development standards, there are no standards in that zone that would allow the horse keeping facilities to remain or that would allow new horse keeping facilities on an interim basis subject to specific criteria. A specific plan would allow additional development standards to be included. However, Staff has recently been looking into reducing and/or combining specific plans as many are very similar with the exception of a few varying development standards. In this case, a specific plan would be identical to the SF-7,500 development standards with the addition of standards for interim horse keeping facilities.

- *Apply Zone/GPA changes to entire block*

Limiting the zone change and general plan amendment to the project area will fail to create consistency throughout the block and does not factor in the strong possibility that the adjacent parcels may be developed with a similar development that is currently being proposed. Applying the proposed changes to the entire block will allow for future development without the need to have to go through another zone change and general plan amendment request in the future. In addition, analyzing the entire block at this point will allow Staff to review the project not on just on its own merits but from a master plan standpoint.

Furthermore, whether the decision from the Council is to pursue an overlay zone or specific plan, applying those standards to the entire block will also address the concerns with horse keeping facilities. This would allow existing horse keeping facilities to remain and provide development standards for new facilities on adjacent lots with horse keeping capabilities. There are ten parcels in the block that have horse keeping capabilities (see Figure 7). Under this scenario, those ten parcels would maintain their ability to keep horses until those parcels get developed with SF-7,500 developments.



Figure 7 – Horse keeping lots on entire block

Lastly, coordination of street patterns, lot configurations, new and existing utilities and other project related criteria would result in a better planned phased development. Proposed and relocated utilities can take into account future development rather than just benefiting the currently proposed project. This can be achieved by preparing a neutral infrastructure analysis to fully address overall circulation and utilities (sewer, storm drain, etc.) for the entire block.

Comparison with Adjacent Neighborhood

The subject site is adjacent to SF-A (20,000) Zoned properties (see Figure 1) to the west, which allow animal keeping including horses and wholesale nurseries. The

lots range in size from 0.25 to 4 acres in lot area. They are developed with one-story single-family residences and have a rural setting as the majority of the sites are used for agricultural uses such as horse keeping and nurseries.

The Residential Planned Development community to the east of the subject site, across San Dimas Avenue, is zoned Single Family 7,500 (SF-7,500) with a Residential Planned Development (RPD 8.5) overlay. The 66 unit residential development was built in 1980 and consists of a mixture of attached and detached single-family residences. The community includes a mixture of one- and two-story (23 – 1-story & 43 2-story) homes (see Figure 9). It's an open community (no gate) with public streets and has two access points from Allen Avenue. In addition, the majority of the community does not have sidewalks. The development has a gross density of 6.9 units to the acre (see Exhibit B); however, the lot configuration and the mixture of one- and two-story homes help to alleviate the massing throughout the entire community. In addition the irregular shaped lots lend themselves to providing side yard setbacks that range from five to ten feet. Lastly, the RPD is located south, across Allen Avenue, from Multiple Family (MF) and Multiple Family Duplex (MF-D) zoned properties (see Figure 1).

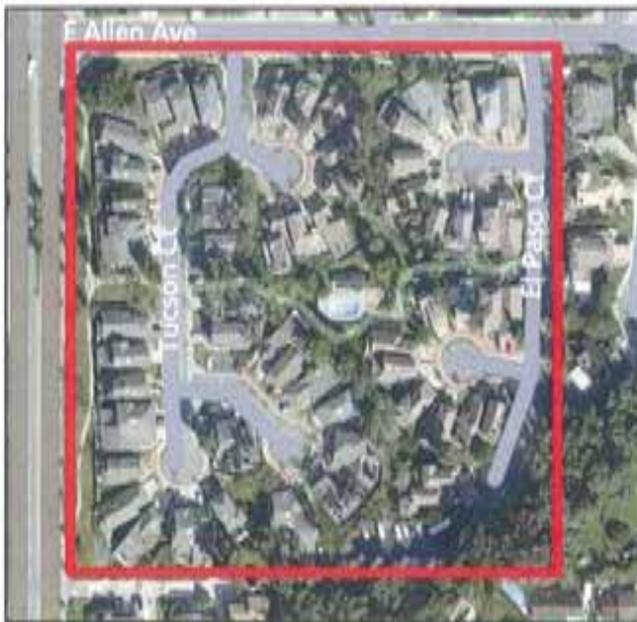


Figure 8 - RPD Aerial



Figure 9 - RPD across San Dimas Ave

The chart below compares the development standards of the SF-A Zone and the existing RPD development adjacent to the subject site with the applicant's proposal.

Development Standards Matrix			
	Single-Family Agricultural 20,000 Zone (SF-A)	Existing Residential Planned Development (RPD)	Proposed Development Single Family Zone (SF)
General Plan	Single-Family Very Low (0.2 – 3 d/u acre)	Low / Medium (6.1 – 8 d/u acre)	Single-Family Low (3.1 – 6)
Actual density	0.6 Units to the acre (gross)	6.9 Units to the acre (gross)	2.97 Units to the acre (gross)
Lot area min.	20,001 sq. ft.	2,509 – 4,139 sq. ft.	Min. 7,500 sq. ft. 7,505 – 11,850 sq. ft. (average: 9,384 sq. ft.)
Lot width min.	150 ft.	31 - 40 feet	70 ft.
Lot depth	N/A	82 - 96 feet	N/A
Building height max.	35 ft. / 2 stories (adjacent homes –one-story homes)	35 ft. / 2 stories (43 – 2-story) (23 – 1-story)	35 ft. / 2 stories Breakdown not provided
Front yard setback min.	20 ft.	15 & 20 ft. (lots with 20 ft. setback do not have sidewalks - measured to street)	20 ft.
Side yard setback min.	5 ft. on one side and 12 ft. on the other	0, 5 & 10 ft. (0 setback for attached units)	5 ft. on one side and 12 ft. on the garage side
Rear yard setback min.	N/A	10 ft.	N/A
Lot Coverage	35% Max	Avg. 43%	35% Max
Parking within garage	2 spaces	2 spaces & 2 spaces in the driveway (18 guest spaces plus R/V parking)	Required - 2 spaces Provided – 2 & 3 spaces
Unit size / Bedrooms	N/A	66 Units 14 – 1,040 SF/2 BD 9 – 1,295 SF/2 BD 23 – 1,488 SF/3 BD 20 – 1,562 SF/3 BD	No requirement Provided living area Plan 1 – 2,044 SF/3 BD Plan 2 – 3,466 SF/4 BD Plan 3 – 3,651 SF/5 BD Plan 4 – 3,867 SF/4 BD Plan 5 – 3,706 SF/5 BD
Floor area ratio	N/A	28 – 54%	Based on 7,500 SF lots 27 – 51%
Open space	N/A		N/A

Analysis

In reviewing the comparison of the applicant's proposal with the development standards of the SF-A Zone, the existing conditions of the surrounding neighborhood, and the Generalized Criteria/Overriding Principles the following items should be taken into consideration:

1. Compatibility with surrounding area by density, building height, and housing type.

- a. Density – The proposed development has a gross density of 3.17 units to the acre, which is slightly higher than the permitted density of 0.2 – 3 units to the acre for the adjacent residential uses. The proposed density, which will require a general plan amendment to increase from Single-Family Very Low to Single-Family Low, will be compatible and maintain the low-density neighborhood character.
- b. Lot size – The proposed development includes lot sizes ranging from 7,505 – 11,880 square feet, with an average lot size of 8,763 square feet. The proposed lots are significantly smaller than the 20,001 square foot minimum lot size required for the adjacent SF-A 20,000 Zoned properties; however, the proposed lot sizes will comply with the SF development standards and support detached single-family uses which is a compatible use to the adjacent residential neighborhood.
- c. Building height – The proposal includes one- and two-story residential structures, which is compatible with the SF Zone and adjacent SF-A Zone. All adjacent single-family residences to the west of the subject site are one-story; however, their subject zone (SF-A) allows two-story homes.
- d. Lot coverage – The applicant's proposal does not provide an individual lot coverage amount; however, the maximum lot coverage permitted in the proposed SF Zone is 35%. The adjacent SF-A Zoned properties also have a maximum lot coverage of 35%, and the majority of the adjacent residential lots have a lot coverage that is significantly less as they all have a rural setting to them with larger lots.

2. Integrate with existing uses.

- a. The properties west of the subject site are zoned SF-A, which allow horse keeping. There are two lots with existing horse keeping facilities. One of the parcels will be incorporated into the project and the second parcel's barn is located over 350 feet from the project site, therefore it will not be impacted by the proposed development. In addition, the new lots adjacent to parcels that support horse keeping facilities have been reduced from nine to five. The setbacks for those lots range from 30 to 80 feet and the adjacent lots have sufficient undeveloped space that would allow for horse keeping and still comply with the 80 foot distance requirements. In addition, should the adjacent parcels be re-zoned to be compatible with the proposed development, standards could be created, to accommodate interim horse keeping facilities. This may be achieved through an overlay zone or through a specific plan.

- b. The single-family residences located immediately west of the subject site are all one-story. The applicant is proposing one- and two-story homes; however, no breakdown on the number of each was provided. A balanced mixture of each should be proposed to integrate with the adjacent residential uses.
- c. The subject site's zone and adjacent residential lots have a minimum lot size requirement of 20,001 square feet. The applicant is proposing lots ranging in size from 7,505 to 11,850 square feet to comply with the minimum 7,500 square foot lot as directed by the City Council at the previous study session. While the proposed lots will measure less than the adjacent lots, they will support single-family detached homes which will be compatible with the adjacent single-family residences. However, should the proposed zone change be applied to the entire block, the existing larger lots may remain, but the zoning and general plan will be in place to allow for a compatible development to continue through Cataract.

3. Provide for orderly and efficient coordination of access/circulation/road and utilities and infrastructure.

- a. The proposed development includes public streets which include landscaped parkway, sidewalk and street parking on both sides of the street. The streets will be required to comply with minimum standards as required by the Public Works Department. Adequate circulation is proposed within the development and the proposed public street terminates at the west boundary of the project site. Should the parcels adjacent to the project area be subdivided in the future, the proposed street may be extended. However, until any new development is proposed adjacent to the project area, the current proposed termination shall include a cul-de-sac to provide adequate turn around.
- b. The proposed development only provides a single access point from San Dimas Avenue; however, it also includes a point of connection to provide future access should the parcels west of the site get developed. In addition, the applicant has included a conceptual layout for the lots west of the development site, which would connect the proposed development with Cataract Avenue. While Staff recognizes that the adjacent development layout is in concept, it needs to be further studied to ensure the proposed circulation is not impacted by existing utilities.
- c. The proposed project includes the relocation of the existing storm drain and sewer utility lines. They are proposed to be relocated in the proposed streets therefore, not creating any development impacts for the proposed lots.
- d. The applicant's submittal indicates that Golden State Water has indicated that there is adequate capacity to serve the development site and they have indicated that dry utilities are available at the site location. Staff has contacted Golden State Water and they currently do not have a moratorium on new development. In addition, in order to properly ascertain the impact to the existing infrastructure, the

applicant should prepare an infrastructure analysis to include, but not limited to, a sewer capacity study.

- e. The revised submittal requires that the center median be extended northward to allow for a turning lane into the project. This will require the existing southbound left-turn lane to be eliminated, which serves a four-unit residential development. That development will only be accessible from northbound San Dimas Avenue. Vehicle traffic generated by the proposed project will be significantly greater than the existing four-unit residential development, thus justifying the median modification.

4. Coordinate phasing in a geographic area (may need to upsize to accommodate needs of surrounding area).

- a. The proposal includes an access point to the parcels to the west should those parcels get developed in the future. As part of their submittal, the applicant has included a conceptual layout to continue the 7,500 square foot lot development to the west. The plan addresses coordination for future phasing; however, it's laid out in a manner that will minimize and in some cases prohibit development of the future parcels unless the storm drain, sewer and overhead transmission lines are relocated. The proposed project has addressed the existing utilities by relocating the existing storm drain and sewer, but the existing overhead transmission lines will remain in place. Standard practice and Code requirement has been to underground overhead utility lines within and adjacent to project area.

5. Economic viability for any targeted market (may need to provide adequate analysis, affordability and/or other guarantees).

- a. The applicant is proposing a market-rate development; however, not enough information has been provided to make proper analysis of this criterion.

6. The need for and reason to support a change.

- a. The applicant states that the current zone makes the subject site functionally and economically obsolete. The development site includes an equestrian facility and nursery, both of which the applicant states are unprofitable. If indeed the current uses are no longer economically viable, the reasons to support the requested applications should not be based on economics. Issues such as compatibility, impacts and community benefits should be considered when making such decisions. The applicant's proposal will be compatible from a land use standpoint. While some impacts have been identified in the applicant's proposal, a thorough analysis will be required should the project move forward.

7. Demonstrated community support for the change.

- a. The applicant held one community meeting for their previous submittal, which was denied by the City Council. At that meeting residents expressed concerns with privacy, compatibility, congestion

and traffic. They also made it clear that the reason for purchasing their properties was for the open, rural setting of the neighborhood and were concerned how that would be impacted by the residential development. Subsequently, the applicant held a community meeting to discuss the revised project scope and density (currently proposed) and stated that affected property owners are either in support of the project or would not oppose it.

8. Demonstrated community benefit that would result from any change.

- a. The applicant's submittal states that the landowners will benefit, as their land is unprofitable and unproductive. In addition they list as community benefits increased property taxes, development fees and new landscaped parkways along San Dimas Avenue. The applicant's stated benefits are not community benefits. Examples of community benefits may include a community park, inclusion of affordable housing and other benefits that would benefit the overall community rather than the current landowners.

9. In addition to the above criteria, the following items shall be considered:

- a. While the submitted site plan is in conceptual form, Staff has identified some areas of concern with the revised submittal. However, Staff believes that these can be addressed at application submittal and plan check process. Should the project move forward a thorough review will be performed to address, but not limited to, the following items:
 - i. Provide a better buffer on properties that abut the existing Edison facility north of the project area.
 - ii. Grading and the height of retaining walls along San Dimas Avenue and at the south end of the project area shall be further evaluated.
 - iii. Underground the existing overhead utility lines within/adjacent to the project area.
 - iv. Provide a well-balanced mixture of one- and two-story units to be compatible with adjacent residential neighborhood,
 - v. The Applicant is not proposing a Homeowner's Association; however the project includes an open space area, landscaped areas along San Dimas Avenue behind the public right-of-way and a landscaped retention area with no discussion as to who will maintain these areas. These will be common areas which will need to be continuously maintained.
 - vi. Site plan does not address "flag" portion of APN 8392-013-031.
- b. A neutral infrastructure analysis should be the first step. This analysis should more fully address overall circulation and utilities (sewer, storm drain, etc.). Any rezoning needs to evaluate the entire area.

ALTERNATIVES

Based on the information presented in this Staff Report and the information presented at the Study Session, the City Council and the Planning Commission shall make one of the following choices:

1. Continue in order for Staff and/or the applicant to provide additional information for the City Council and the Planning Commission to consider.
2. Authorize initiation of a general plan amendment and zone change.
3. Authorize initiation with additional direction and / or comments.
4. Deny because the proposed project does not meet the Generalized Criteria/Overriding Principles discussed in this report.

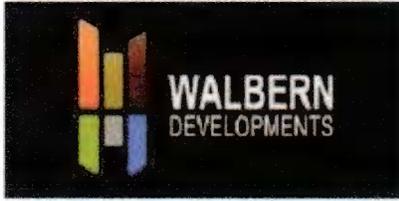
RECOMMENDATION

Staff recommends that the applicant be granted the authorization to initiate a general plan amendment to Single Family Low, zone change to Single Family 7,500 and all other associated applications, and direct Staff to apply changes to the entire block and create an overlay zone to address horse keeping facilities and infrastructure.

Attachments:

- Exhibit A – Applicant’s letter
- Exhibit B – Aerial of the surrounding neighborhood identifying density levels
- Exhibit C – Conceptual site plans & sections
- Exhibit D – Conceptual lot size & coverage
- Exhibit E – Conceptual elevations/floor plans
- Exhibit F – Conceptual grading plan
- Exhibit G – Applicant’s last submittal

EXHIBIT A



1278 Glenneyre Street, Suite 439
Laguna Beach, California 92651
Office: 949-276-7570

June 9, 2015

Larry Stevens
Assistant City Manager and Director of Community Development
City of San Dimas
245 E. Bonita Ave.
San Dimas, Ca. 91773

Re: Request from Walbern Development to initiate a General Plan Amendment (GPA) and Zone Change to Single Family Low Density (3.1-6 units per acre)
APN's 8392-013-031, 8392-013-032 & 8392-014-037, 8392-013-028 and 8392-013-029

Dear Mr. Stevens,

Significant investigation and work has been done on this site since the last Joint Study Session by both the Staff and the applicant. As a result of this effort Walbern Development (Walbern) has revised their previous request and is providing a revised submittal in support of the above referenced GPA and ZONE CHANGE to Single Family Low allowing (3.1–6) units per acre. The following exhibits are being provided for review.

Number & Size	Number & Size	Exhibit Name
15-11x17	1-full scale	29 Lot Layout
15-11x17	1-full scale	Conceptual Grading Plan
15-8½x11		Engineers Grading Letter
15-11x17	1-full scale	Conceptual Landscape Plan WDO5
15-11x17	1-full scale	Conceptual Architecture (San Dimas-Elevations)
15-11x17		Barn Location Map
15-11x17		Zoning Map
15-11x17		Horse Trail Map

The exhibits are illustrative and meant to provide some visual representations of the project. We understand that should comments be made by Commissioners and Council members about the

conceptual exhibits that those comments are not to be relied upon in the event the project moves forward.

Walbern has continued to meet with landowners as evidenced by the additional property that has been added to the request. We will continue to meet with the other property owners in the area throughout process.

Description of the Proposed Project Site:

The proposed site consists of a total of five (5) parcels that are predominately flatlands with the exception of the oak covered hillside on the southern boundary that provided a natural barrier and separation from homes along Gladstone Ave. The five parcels represent approximately 9.43 gross acres of the 25.98 acres between San Dimas Ave. and Cataract Ave. Walbern is requesting a GPA and ZONE CHANGE for development of twenty eight (28) 7500+ sq. ft. single family lots with a density of 2.97 units per acre. Street standards, setbacks and floor area ratios are already established in the San Dimas Municipal code (SDMC) for these types of lots. At the request of the Staff, Walbern has prepared a conceptual access/circulation/road study with utilities and infrastructure showing a traffic pattern from San Dimas Avenue through to Cataract Avenue.

The proposed project site is currently being used for a nursery, equestrian center, vacant ground and a residence. The current zoning created economic and functional obsolesces in the project area. The area surrounding the site includes Low/Medium residential to the east; to the north (AP) 30 units per acre and industrial; Single Family Very Low to the south and west. The land to west consist of a few residences and a portion of the land has a nursery and the rest is fallow.

Description of the Proposed Project:

Walbern is proposing a Single Family Low Density Detached 28 unit Subdivision which would feature one and two story homes with two and three car garages. The conceptual design represents a density of 2.97 unit per acre. As currently provided for in the SDMC the maximum height of a single story unit is 25' and the maximum height of a two story unit is 35' with a maximum ground coverage of 35% of the lot. The current SDMC setback requirements are 20' front yard, 5' & 12' side yards. The development is a single access entrance with ingress and egress from San Dimas Avenue. As proposed the development does provide for future access through to Cataract. It is proposed that the development will have public streets and will not provide any community recreational facilities. The back yards of the lots are large enough to allow for swimming pools and other personal recreational facilities.

Generalized Criteria and Overriding Principals

Prior to allowing the submittal of an application for a zone change the City Council and the Staff have established some general criteria and principals governing requests for zone changes within the City. The criteria and principals are subjective and the Council and Staff have not established a threshold required for approval to file a zone change, nevertheless, the outlined criteria and principals have previously been reviewed by the Council and Staff. Based on comments from the previous study session

and recommendations from the Staff it is Walbern's belief that with the revisions in this submittal the criteria for allowing a zone change application to go forward has been met. Following is Walbern's general comments showing compliance with the criteria.

Is the proposed development compatibility with surrounding area by density, building height and housing type?

As shown in the Zoning Map Exhibit, the areas immediately west of the proposed project is sparsely developed with the majority of the land to the west being used for agriculture or lying fallow. With a few exceptions, most of the homes to the west and along Allen Ave., were built in the early 1940's to the early 1960's. The homes to the south are visually and topographically separated by the oak covered hillside. Homes to the east are one and two story homes built after 1980 and more consistent with architectural style and materials used today. The property to the north is mostly industrial and office uses. The proposed development is most compatible with developments to the east completed after 1980. It will integrate nicely with the properties along Allen Ave and allows for the future development of the vacant land to the west. More than 50% of the homes in the surrounding area are on lots that are 7500 sq. ft. or less.

Will the proposed development integrate with existing uses?

At present the existing uses of the property for the proposed development are functionally and economically obsolete. That is the reason for the zone change request. The proposed residential use of 2.97 units per acre will integrate nicely with the variety of surrounding residential uses and densities. With the inclusion of the property with Barn #1 (see the Barn Exhibit) integration with the existing horse keeping zone should not be an issue. Other edge effects of the site have previously been addressed.

Will the proposed development provide for the orderly and efficient coordination of access, circulation, roads, utilities and infrastructure?

The conceptual plan represents that is attached to this submittal contains an access/circulation/road study for the proposed development that shows how the site and the surrounding properties provide for an orderly and efficient roadway design and lot configuration (Exhibit to follow). The conceptual plan provides a 60' roadway circulation plan from San Dimas Avenue westerly to Cataract Avenue.

The conceptual plan integrates the existing sewer main that runs east and west through the property into the project design. The City storm drain that discharges onto the property will be collected into an onsite retention basin with the remainder of the runoff to continue on in its current path westerly to Cataract. Golden State Water has indicated they have adequate capacity to serve the Project. Dry utilities are available at the site location.

Will the development coordinate phasing in a geographic area?

Sewer transmission lines and storm drain facilities current run through the property and the property to the west. Roadway design incorporates future access from San Dimas Avenue to Cataract. The site drains to the west and the proposed development retains runoff onsite. The initial study indicate that sewer, water and storm water infrastructure can be adequately coordinated for future development of the property west of the proposed project. It is expected that the high voltage power lines will remain in place.

Is the project economically viable?

Economic viability is a relative concept. Based on a 28 lot development plan, the near term economic forecasts and the fact the property owners have agreed to price reductions to compensate for fewer lots, less revenue and higher per lot development costs, Walbern's analysis is that under reasonable market conditions the project is viable in the 2015 -2017 market window.

There are other factors which are unknown at this time that may adversely impact the economic viability of the project such as, the level of conditions imposed upon the development by the City, the availability of good jobs, interest rates, market conditions at the time of approval and the level of confidence that people have in their economic future.

The need for and reason to support a change.

As currently zoned the development site is functionally and economically obsolete. There is a surplus of equestrian lots in the community with a diminishing demand for on lot horse keeping. The cost of compliance with water quality requirements is further discouraging the need for equestrian lots in the City.

There are no equestrian trails instant to the area that access trails in the northern foothills (see the attached trail map).This area requires riders to ride horses on busy streets, pass under the freeway and cross Route 66 in order to find riding trails. The existing equestrian center and the nursery are both unprofitable. The changing economy and real estate market as well as reason and fairness support re-zoning of this area so that current owners have an economically viable use.

Is there demonstrated support in the community for a change?

Certainly, those members of the community who want to sell their property are in support of the change. As stated above, Walbern had conducted a community meeting and met with most of the landowners whose property may be affected by any change in the zoning and they are either in support of the change or would not oppose the change. Walbern plans to continue reaching out to all property owners in the area during the development process.

Is there a demonstrated community benefit that would result from a change?

There is a benefit to the land owners that are currently struggling with land that is unprofitable and unproductive. The development will generate a significant increase in property taxes that will benefit the City as well as the development fees, park fees and school fees that will benefit the Bonita School District. The payment of Quimby Fees will help improve existing parks in the City.

Businesses, restaurants, churches and local groups will benefit from the new families moving into the community. Landscaping along San Dimas Avenue will provide a more beautiful and finished entrance into the City center.

General Plan Amendments and Zone Change:

The southern portion of the site is currently zoned AL and the northern portion of the site is zoned SF-A20000. ***We are requesting a General Plan Amendment and Zone Change to allow for minimum 7500 sq. ft. lot Single Family Low (3.1-6) units per acre***

The proposed change of zoning will not adversely affect adjoining property owners as to the value of their property. There are no public health, safety or general welfare impacts that would prohibit or prevent re-zoning the property to Single Family Low density.

On balance, Walbern believes that the proposed zoning will serve both the interests of property owners and the City. Walbern Development respectfully requests the Council allow the filing of an application for a subdivision of the subject property into 28 single family lots and authorize the initiation of a General Plan Amendment and Zone Change to Single Family Low Density (3.1 -6) units per acre.

Please feel free to contact me or you can also contact Stan Stringfellow if you have any questions.

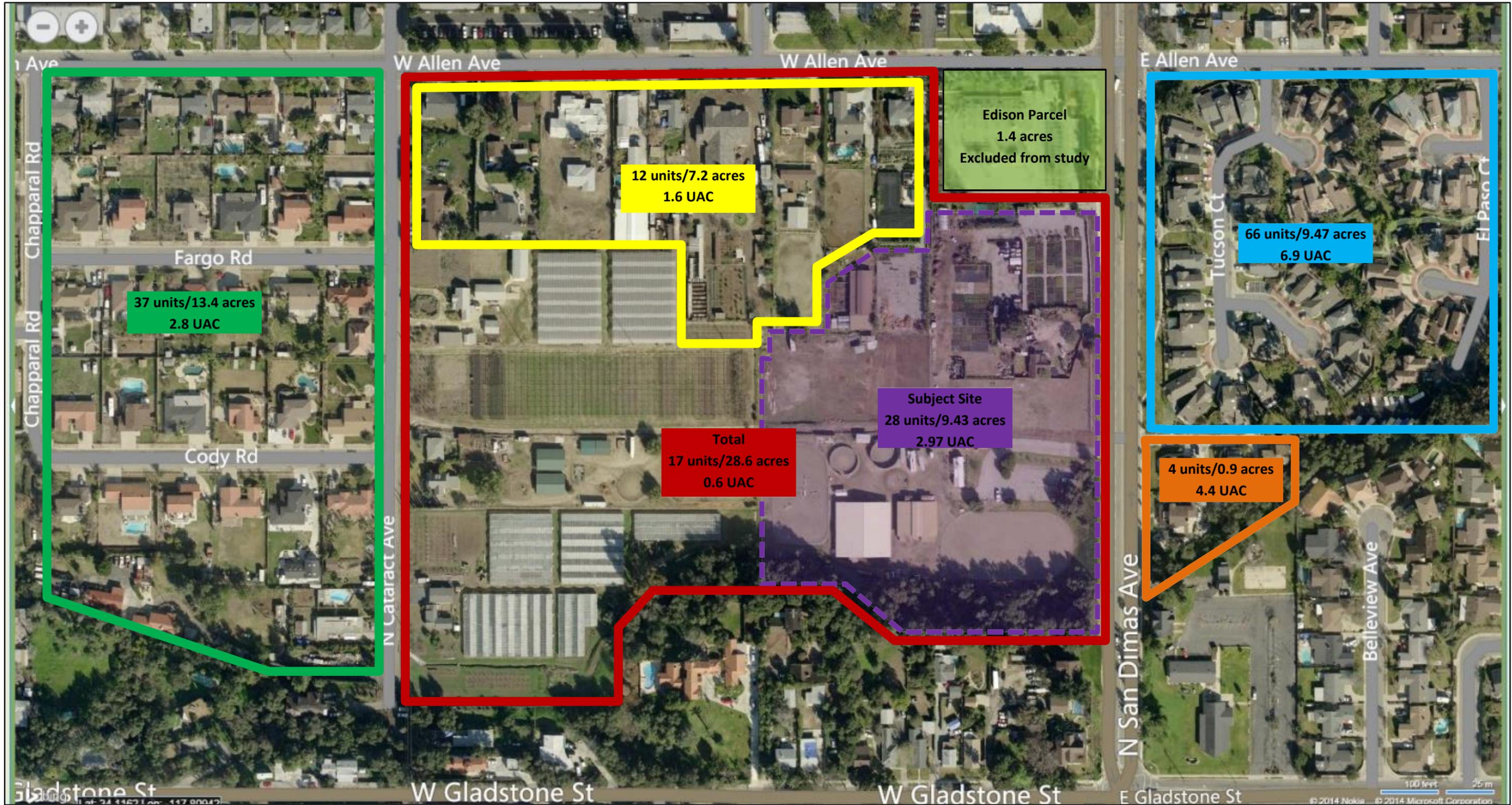
Sincerely,



Stan Stringfellow

Representing Walbern Development, Inc.

EXHIBIT B



OPTION 1 - SAN DIMAS AVE. LANDSCAPE CONCEPT

The overall landscape concept for the San Dimas Avenue setback area is to provide this new residential community and adjacent existing communities with an attractive walking experience while adding visual interest and social functionality.

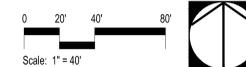
A six foot wide meandering sidewalk is proposed north of the main vehicular entry, in conjunction with curvilinear seating areas will be designed together to create spaces for local residents to walk their dogs, jog, or stroll along San Dimas Avenue with colorful resting nodes along the way.

These curvilinear nodes will provide areas off the main walk where people could stop and sit to rest or gather in conversation. The use of low maintenance and water wise plants would be incorporated and designed to be attractive, using dramatic and unique succulents in mass groupings.

Refer to sheet L-2 for additional information: enlargements, elevations and sections.
Refer to Sheet L-6 for front yard design intent & imagery samples.



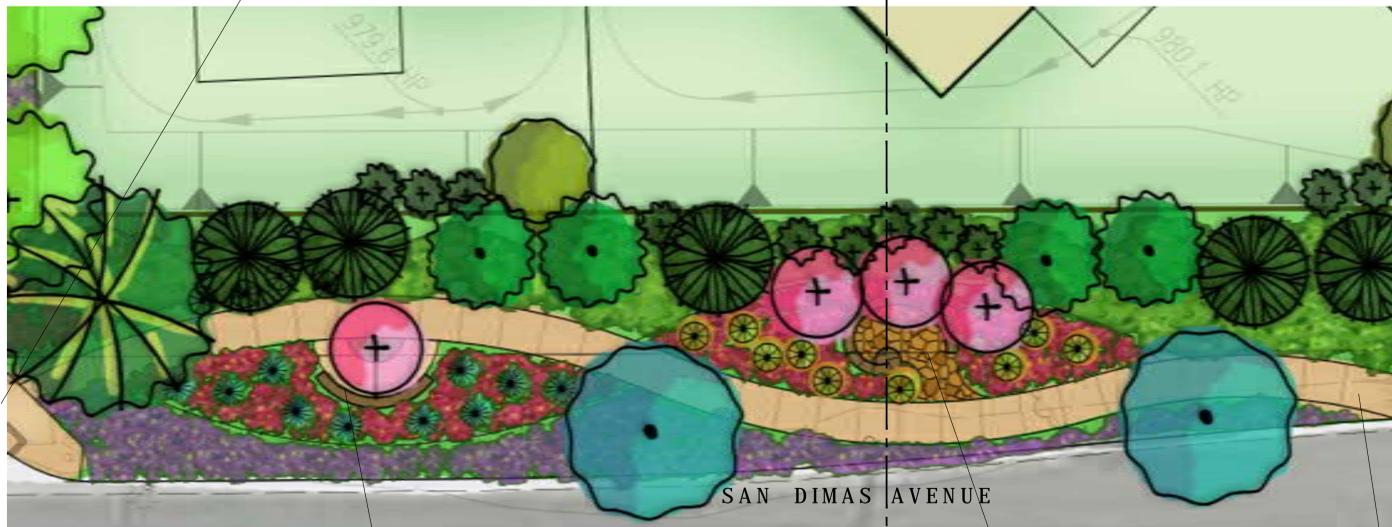
- Private seating node with circular seat-wall
- 6 Foot wide meandering sidewalk, north of the main vehicular entry
- Public seating node with curvilinear seat-wall
- Street tree
- Specimen tree
- Larger canopy tree for screening
- Evergreen Screening Tree - Pine
- 5 Foot wide curb adjacent sidewalk
- Central median extended with new low water trees, shrubs and ground-covers



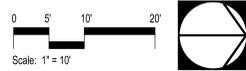
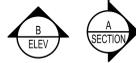
Conceptual Landscape Plan (Option 1) - Curvilinear Walk North of Entry



Main project vehicular entry



Plan View Enlargment
Scale: 1" = 10'



Curvilinear seat-wall with flowering tree and succulent planting providing sculptural and colorful massing and visual interest. This space would have less tree canopy for greater sun exposure and visibility from the street.

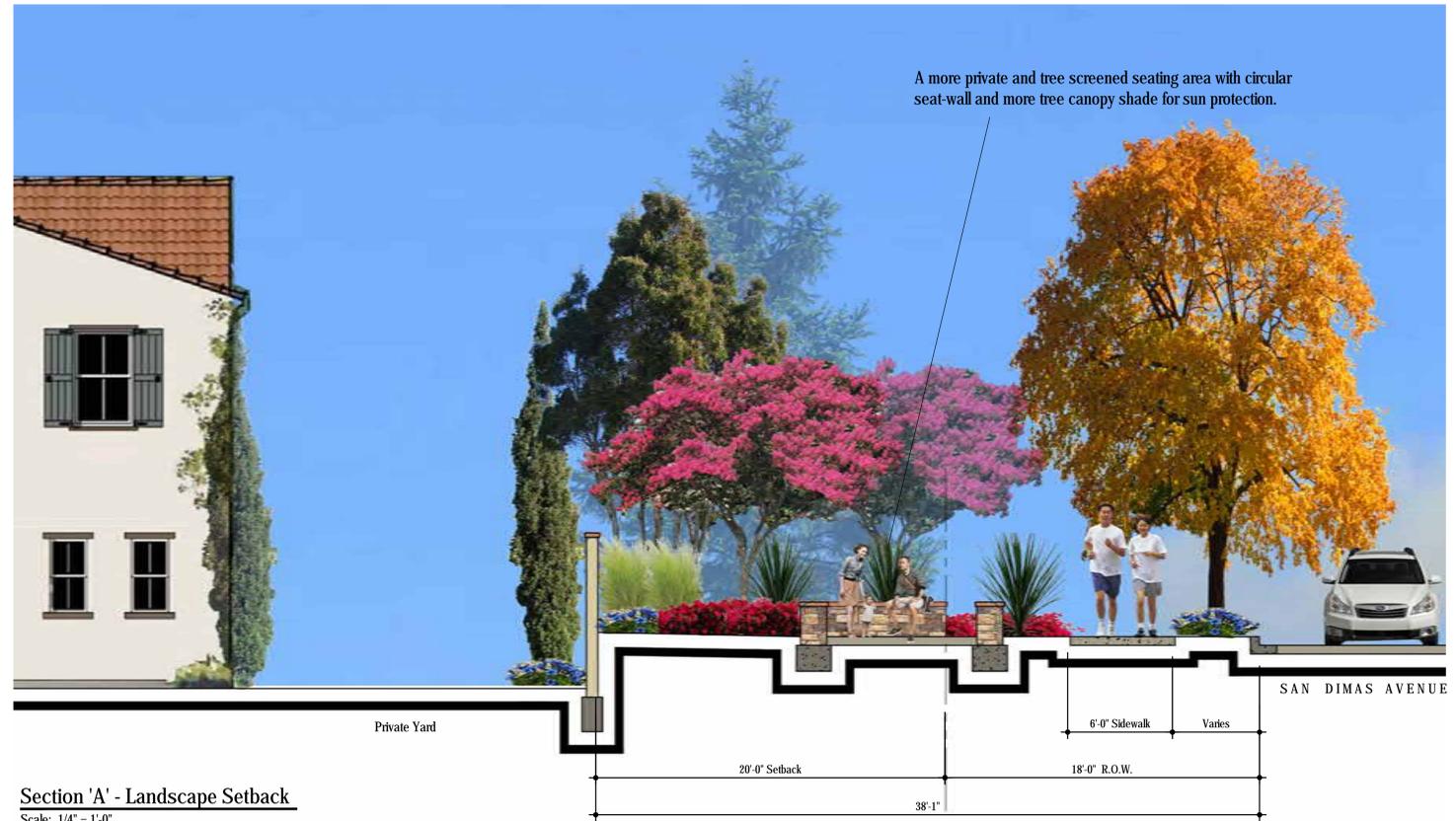
A more private and tree screened seating area with circular seat-wall and more tree canopy shade for sun protection.



6 Foot wide meandering sidewalk for multi-use



Section 'A' - Landscape Setback
Scale: 1/4" = 1'-0"



A more private and tree screened seating area with circular seat-wall and more tree canopy shade for sun protection.

Flowering accent tree

Larger canopy tree for screening

Evergreen Screening Tree - Pine



Elevation 'B' - Enlargement
Scale: 1/4" = 1'-0"

Conceptual North Entry St. Elevation & Section - San Dimas Avenue (Option 1)

Walbern Developments

2nd - City Study Session | Project No.: WD05-D
Date: Jun. 09, 2015

L-2



San Dimas Avenue - San Dimas, CA



OPTION 2 - SAN DIMAS AVE. LANDSCAPE CONCEPT

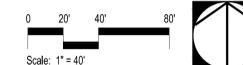
Similar landscape concept to Option 1 except the north sidewalk will be kept curb adjacent the whole way north of entry to connect to existing curb adjacent sidewalk.

A five foot wide curb adjacent sidewalk will be continuous from north to south with water-wise landscape within the setback- similar to Option 1.

Refer to Sheet L-6 for front yard design intent & imagery samples.



- 5 Foot wide curb adjacent sidewalk
- Larger canopy tree for screening
- Evergreen Screening Tree - Pine
- Street tree
- Specimen tree
- Flowering accent tree
- Larger canopy tree for screening
- Evergreen Screening Tree - Pine
- 5 Foot wide curb adjacent sidewalk
- Central median extended with new low water trees, shrubs and ground-covers



Conceptual Landscape Plan (Option 2) - Straight Walk North & South of Entry

Walbern Developments

2nd - City Study Session | Project No.: WD05-D
Date: Jun. 09, 2015

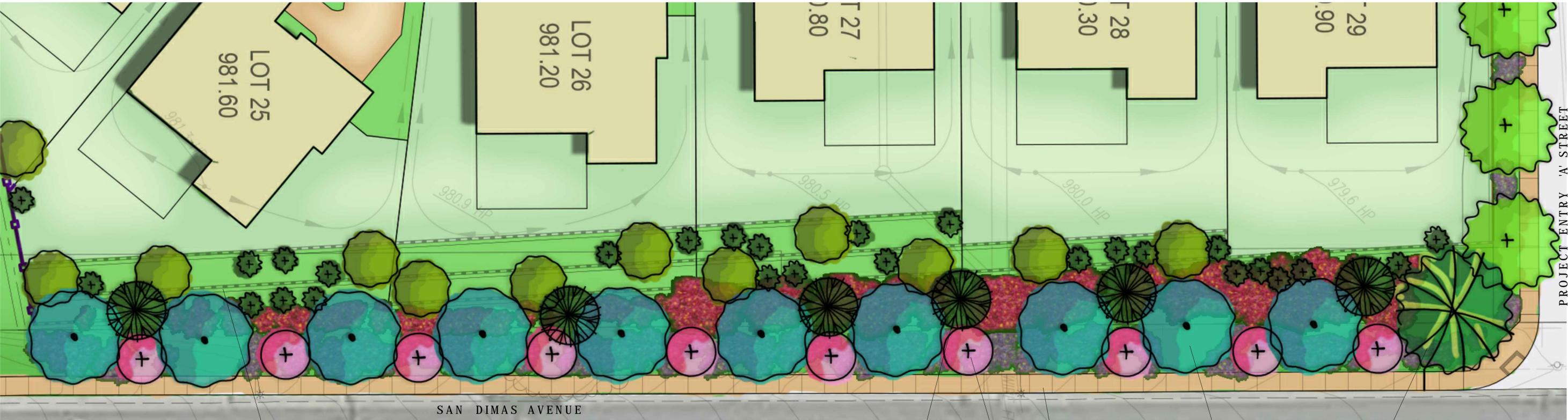
L-3



San Dimas Avenue - San Dimas, CA



Landscape Architecture



Plan View
Scale: 1" = 10'

Terraced retaining walls (Per Civil)



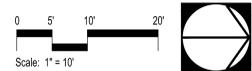
Evergreen Screening Tree - Pine

5 Foot wide curb adjacent sidewalk

Flowering accent tree

Larger canopy tree for screening

Specimen tree



Proposed homes are set down below San Dimas Ave. and screened by proposed setback and parkway trees

Main project vehicular entry



Street Elevation 'A' - West View
Scale: 1" = 10'

South Entry St. Elevation - San Dimas Avenue (Options 1 & 2)

Walbern Developments

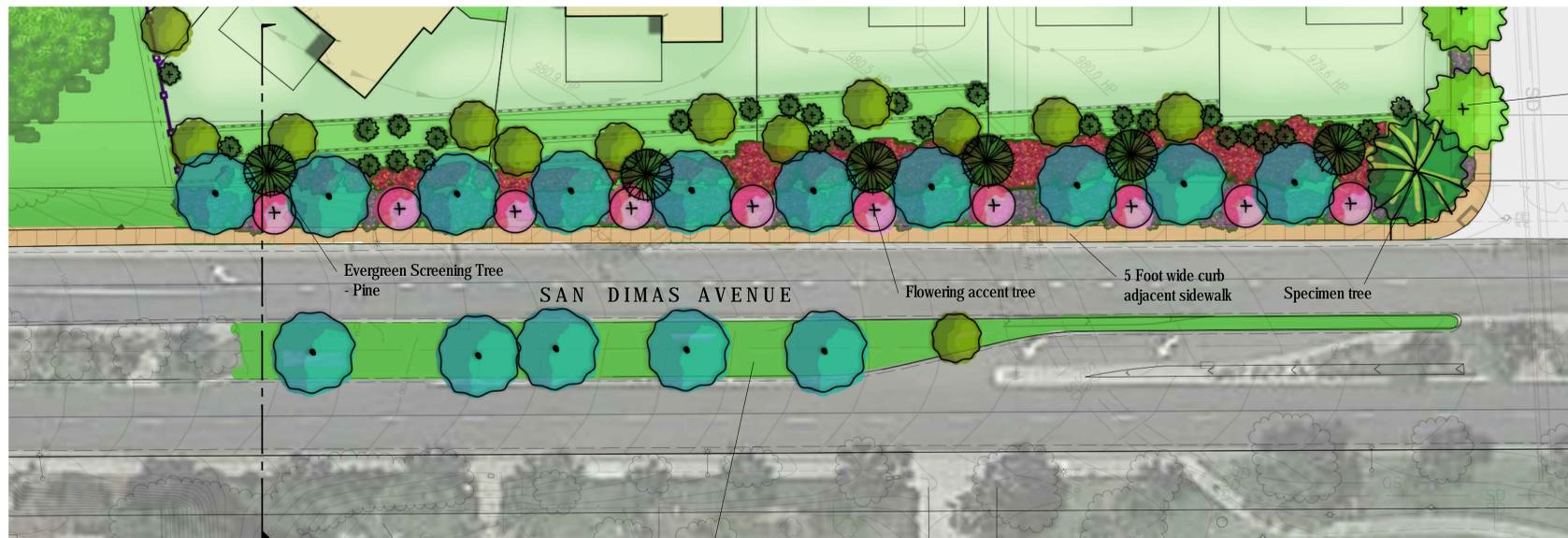


2nd - City Study Session | Project No.: WD05-D
Date: Jun. 09, 2015

L-4

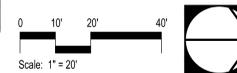
San Dimas Avenue - San Dimas, CA



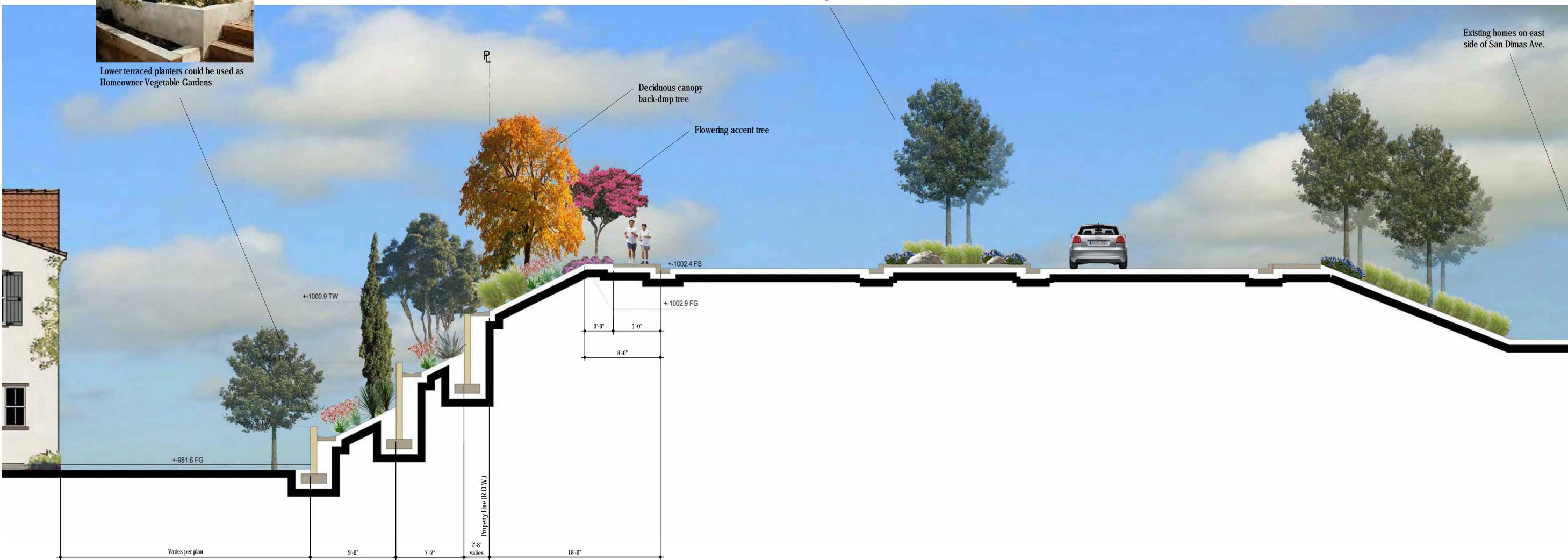


South Entry - Plan View

Central median extended with new low water trees, shrubs and ground-covers



Lower terraced planters could be used as Homeowner Vegetable Gardens



Section 'A'
Scale: 1/4" = 1'-0"

Conceptual South Entry San Dimas Ave. Section (Options 1 & 2)

Walbern Developments



2nd - City Study Session | Project No.: WD05-D
Date: Jun. 09, 2015

L-5

San Dimas Avenue - San Dimas, CA



EXHIBIT D

742-811 N. San Dimas Avenue
 Rancho Robles
 MJW Investments, LLC

6/8/2015
 ANDREASEN ENGINEERING , INC.

Lot Area						
<u>Lot Number</u>	<u>Lot Width</u>	<u>Lot Depth</u>	<u>Lot Area</u>	<u>Max. Allowable Coverage (35%)</u>		
1	75	112	8,571	3,000		
2	35-70	104-163	9,785	3,425		
3	35-70	101-163	10,020	3,507		
4	35-70	101-150	8,766	3,068		
5	35-70	109-150	9,887	3,460		
6	75	118	9,642	3,375		
7	72	160	11,850	4,148		
8	95	301	0	0		
9	100	100	10000	3,500		
10	74	105-140	9199	3,220		
11	81	105-117	9026	3,159		
12	75	100	8096	2,834		
13	66-74	100-150	8250	2,888		
14	40-75	138-150	15542	5,440		
15	57-82	108-138	9819	3,437		
16	70	108-118	8596	3,009		
17	75	120	9098	3,184		
18	70	120	7911	2,769		
19	70	120	8394	2,938		
20	70	120	8394	2,938		
21	65-70	111-120	7889	2,761		
22	35-70	111-144	11621	4,067		
23	35-70	100-144	8770	3,070		
24	35-70	100-130	8534	2,987		
25	70	104-130	9821	3,437		
26	70	104-120	9130	3,196		
27	70	120	8994	3,148		
28	70	120	8744	3,060		
29	70	120	8406	2,942		
A	20	219	4393	0		
B	10	385	4260	0		
OS	88	610	53435	0		
	TOTAL		324843	91,964		
	AVG LOT SIZE		9384	3,177		
AVG LOT SIZE ONLY INCLUDES LOTS 1-7 & 9-28						

EXHIBIT E



PLAN 5R - SANTA BARBARA STYLE

PLAN 4 - CRAFTSMAN STYLE

PLAN 3R - AMERICANA STYLE

PLAN 2 - CRAFTSMAN STYLE

PLAN 1 - SANTA BARBARA STYLE

SAN DIMAS

STREET SCENE



Walbern Development
28 Monarch Bay Plaza, Suite Q
Dana Point, CA 92629
949.276.7570
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SAN DIMAS, CALIFORNIA
KTGY # 2012-0553
06/08/2015

KTGY Group Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



- Americana Style Material Legend:
- * Fiber-cement Lap Siding
 - * Concrete Flat Tile Roofing
 - * Board and Batten accents in gable end
 - * Shutters
 - * Brick Veneer
 - * Window Dormers
 - * Wood Fascia and Barge
 - * Coach Lights



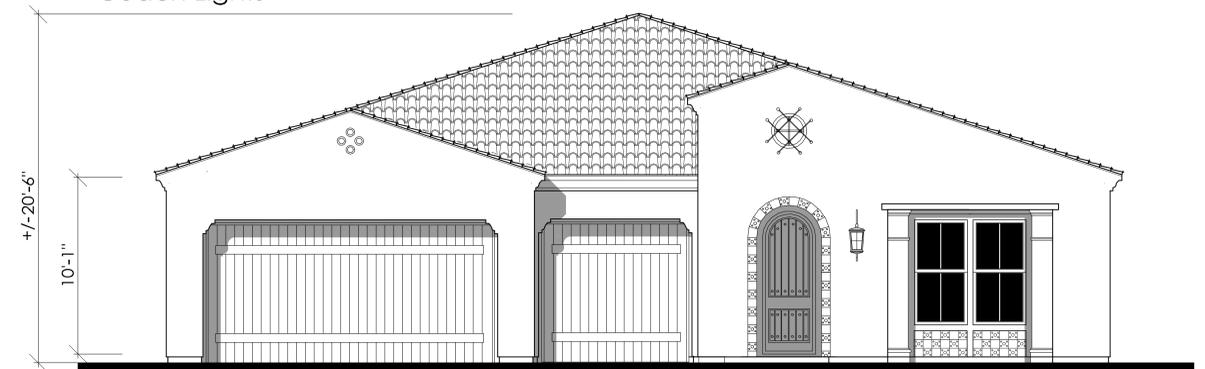
AMERICANA STYLE

- Craftsman Style Material Legend:
- * Stucco
 - * Concrete Flat Tile Roofing
 - * Board and Batten accents in gable end
 - * Stone Veneer
 - * Wood Fascia and Barge
 - * Wood Trellis over Garage Door
 - * Coach Lights



CRAFTSMAN STYLE

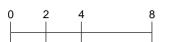
- Santa Barbara Style Material Legend:
- * Stucco
 - * Concrete "S" Tile Roofing
 - * Clay Outlookers in Gable End
 - * Shutters
 - * Built-Up Stucco Fascia
 - * Accent Ceramic Tile at Entry Door
 - * Wrought Iron Balcony
 - * Wrought Iron Potshelf
 - * Coach Lights



SANTA BARBARA STYLE



GROSS SF	
1ST FLOOR	2044 SQ. FT.
TOTAL LIVING	2044 SQ. FT.
OPT. FLEX	+217 SQ. FT.
3-CAR GAR.	642 SQ. FT.
GRAND TOTAL	859 SQ. FT.



AI.0

SAN DIMAS

PLAN I



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 28 Monarch Bay Plaza, Suite Q
 Dana Point, CA 92629
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 walberndevelopment.com

San Dimas, CA
 KTG # 2013-0307
 06/08/2015

KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
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 - * Wood Fascia and Barge
 - * Coach Lights

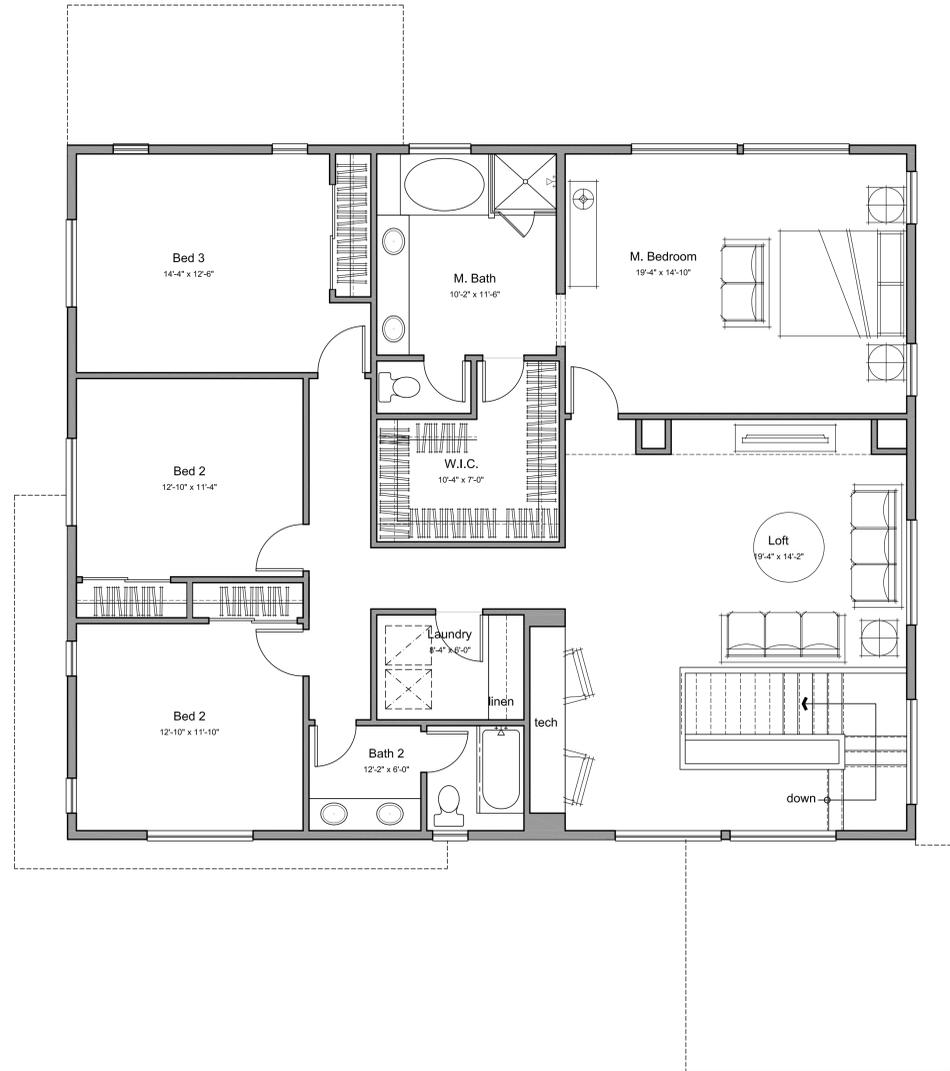


- Craftsman Style Material Legend:
- * Stucco
 - * Concrete Flat Tile Roofing
 - * Board and Batten accents in gable end
 - * Stone Veneer
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 - * Shutters
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 - * Wrought Iron Balcony
 - * Wrought Iron Potshelf
 - * Coach Lights





GROSS SF	
1ST FLOOR	1637 SQ. FT.
2ND FLOOR	1829 SQ. FT.
TOTAL LIVING	3466 SQ. FT.
1-CAR GAR.	+266 SQ. FT.
2-CAR GAR.	483 SQ. FT.
GRAND TOTAL	4215 SQ. FT.

SAN DIMAS



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PLAN 2

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AMERICANA STYLE

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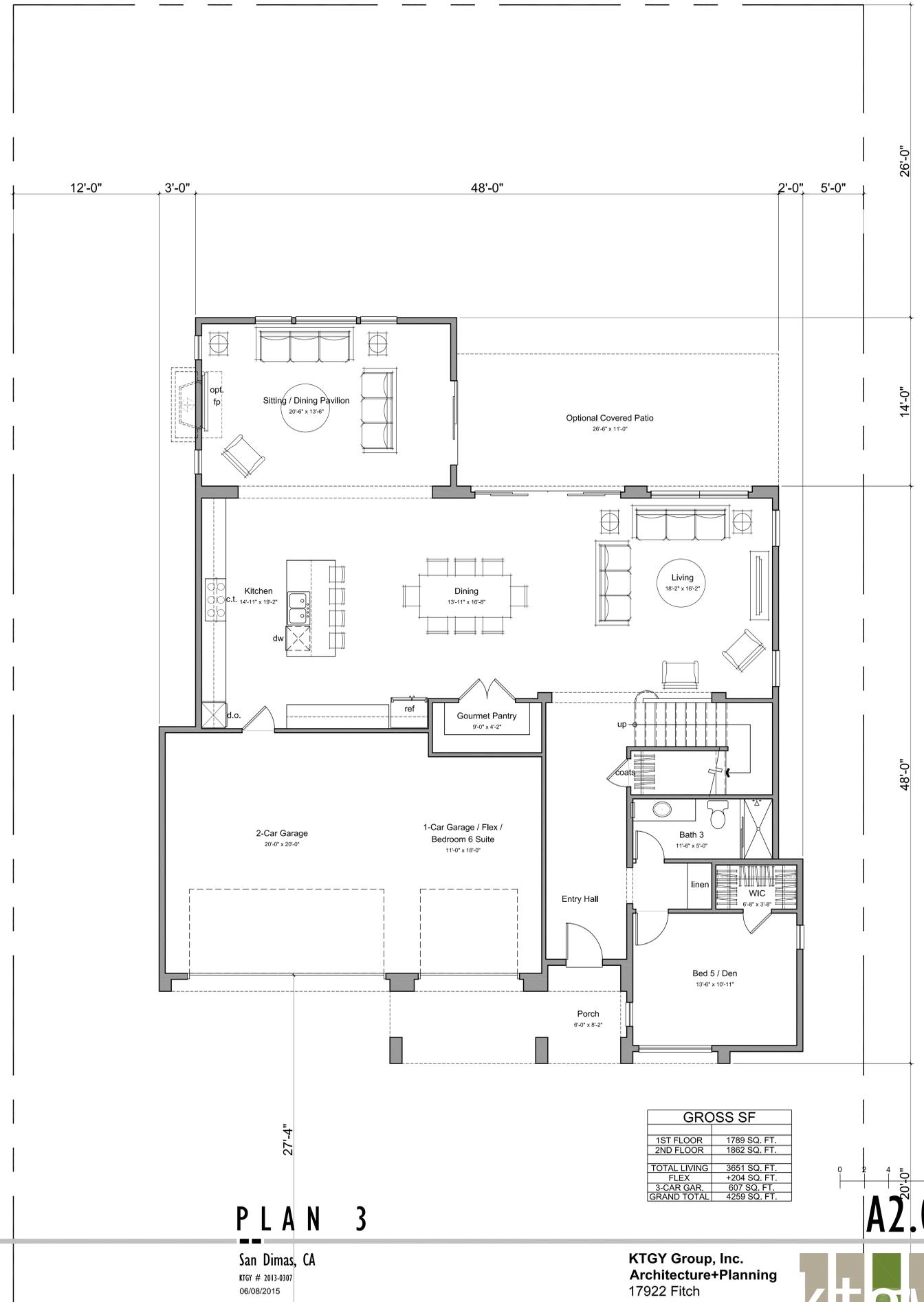
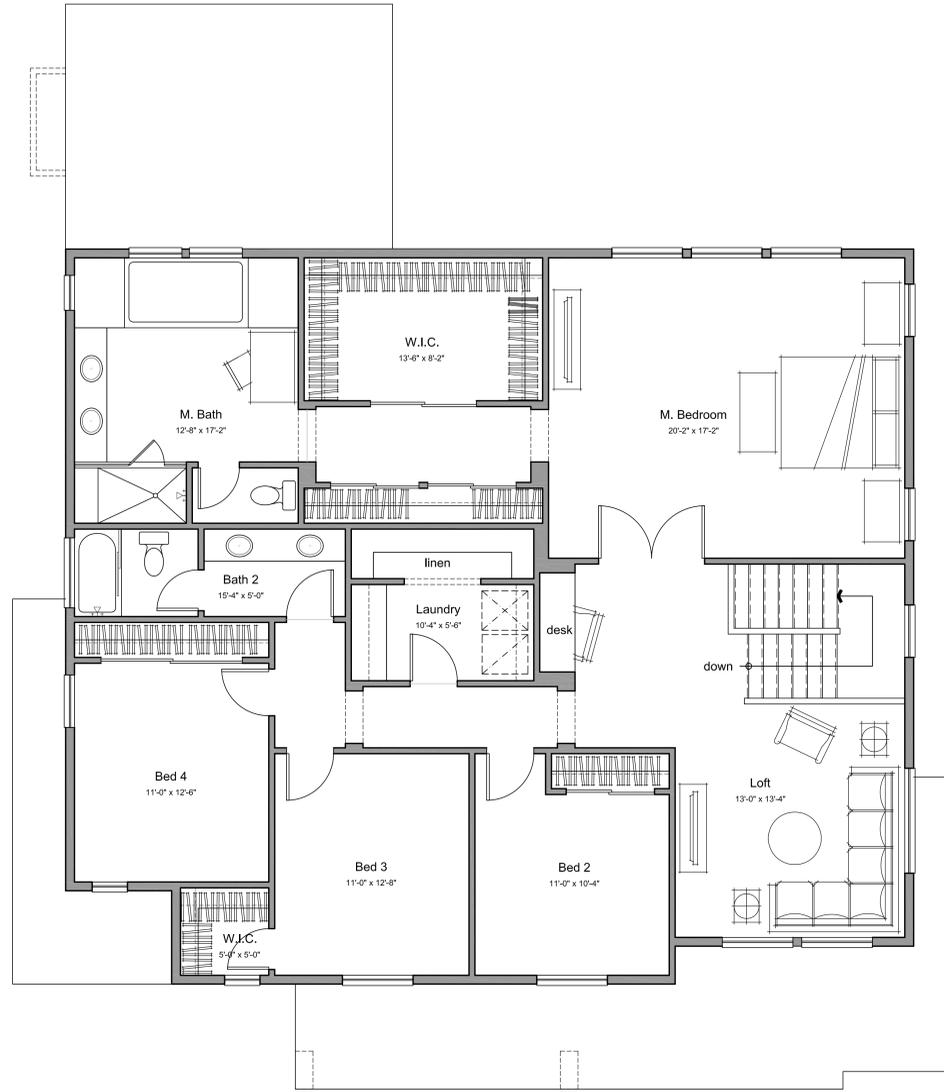


CRAFTSMAN STYLE

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 - * Shutters
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 - * Accent Ceramic Tile at Entry Door
 - * Wrought Iron Balcony
 - * Wrought Iron Potshelf
 - * Coach Lights



SANTA BARBARA STYLE



GROSS SF	
1ST FLOOR	1789 SQ. FT.
2ND FLOOR	1862 SQ. FT.
TOTAL LIVING	3651 SQ. FT.
FLEX	+204 SQ. FT.
3-CAR GAR.	607 SQ. FT.
GRAND TOTAL	4259 SQ. FT.

SAN DIMAS



Walbern Development
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 walberndevelopment.com

PLAN 3

San Dimas, CA
 KTG # 2013-0307
 06/08/2015

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 ktgy.com



A2.0

- Americana Style Material Legend:
- * Fiber-cement Lap Siding
 - * Concrete Flat Tile Roofing
 - * Board and Batten accents in gable end
 - * Shutters
 - * Brick Veneer
 - * Window Dormers
 - * Wood Fascia and Barge
 - * Coach Lights



AMERICANA STYLE

- Craftsman Style Material Legend:
- * Stucco
 - * Concrete Flat Tile Roofing
 - * Board and Batten accents in gable end
 - * Stone Veneer
 - * Wood Fascia and Barge over Garage Door
 - * Wood Trellis
 - * Coach Lights



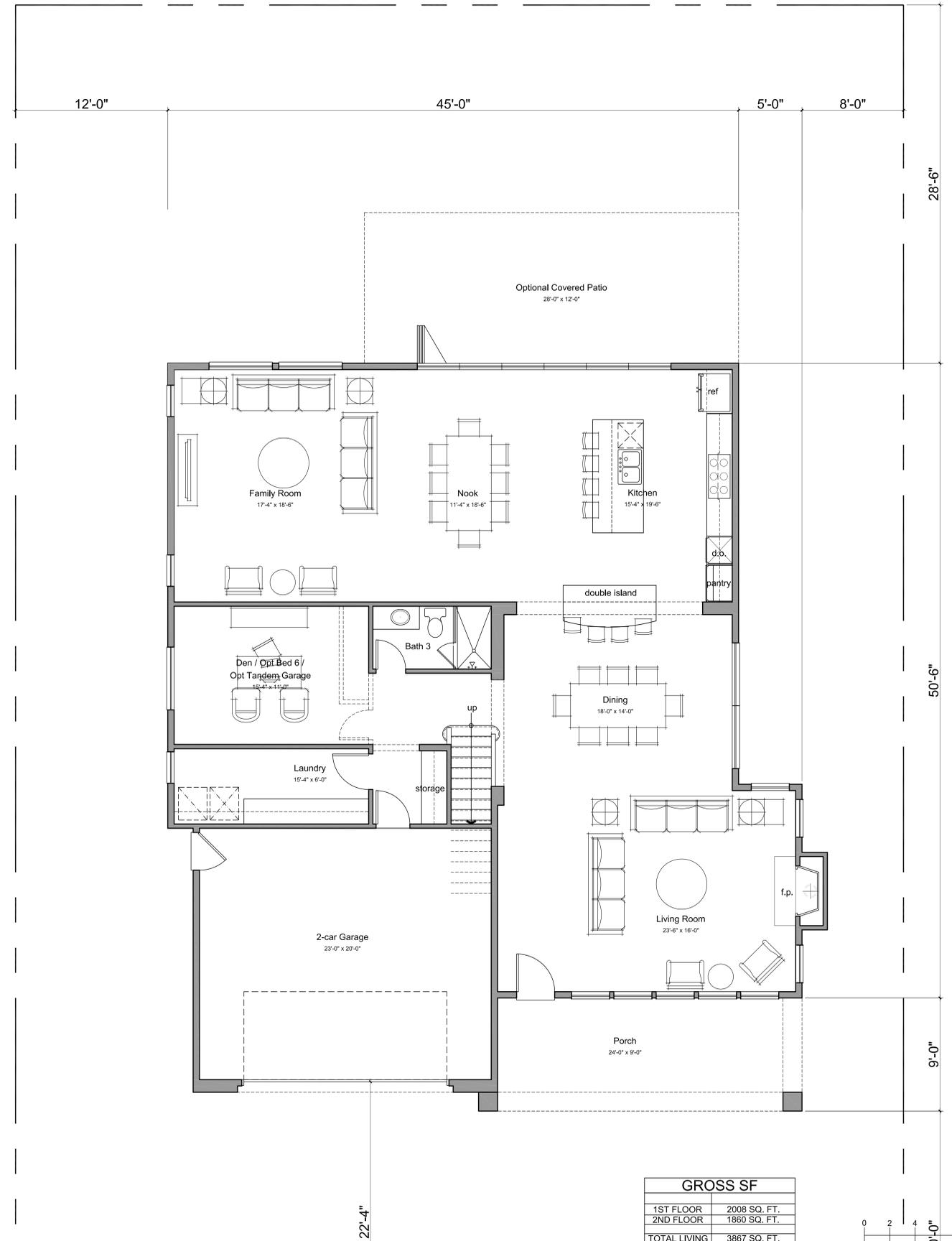
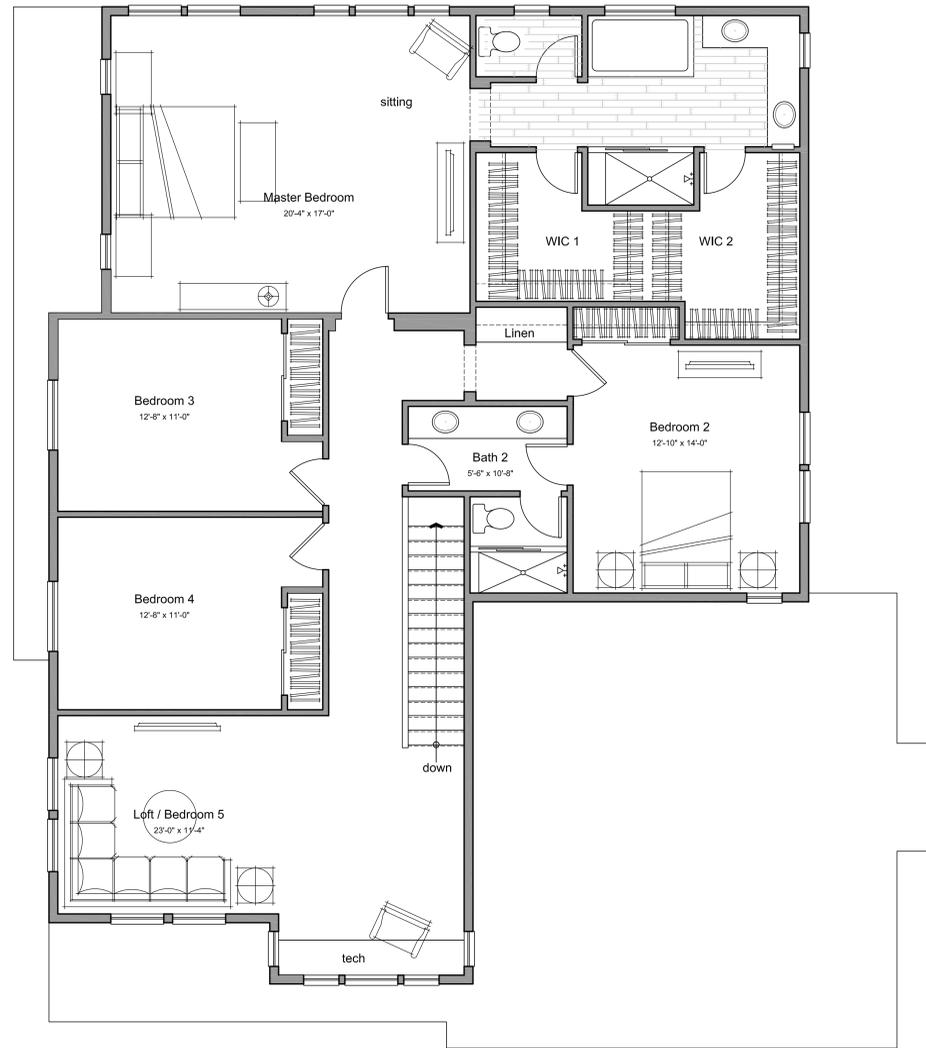
CRAFTSMAN STYLE

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- * Stucco
 - * Concrete "S" Tile Roofing
 - * Clay Outlookers in Gable End
 - * Shutters
 - * Built-Up Stucco Fascia at Entry Door
 - * Wrought Iron Balcony
 - * Wrought Iron Potshel
 - * Coach Lights



SANTA BARBARA STYLE

Scale 0 4 8 16



GROSS SF	
1ST FLOOR	2008 SQ. FT.
2ND FLOOR	1860 SQ. FT.
TOTAL LIVING	3867 SQ. FT.
GARAGE	472 SQ. FT.
GRAND TOTAL	4339 SQ. FT.

SAN DIMAS



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PLAN 4

San Dimas, CA
 KTG # 2013-0307
 06/08/2015

KTGY Group, Inc.
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 Irvine, CA 92614
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A3.0

- Americana Style Material Legend:
- * Fiber-cement Lap Siding
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 - * Shutters
 - * Brick Veneer
 - * Window Dormers
 - * Wood Fascia and Barge
 - * Coach Lights



AMERICANA STYLE

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 - * Coach Lights



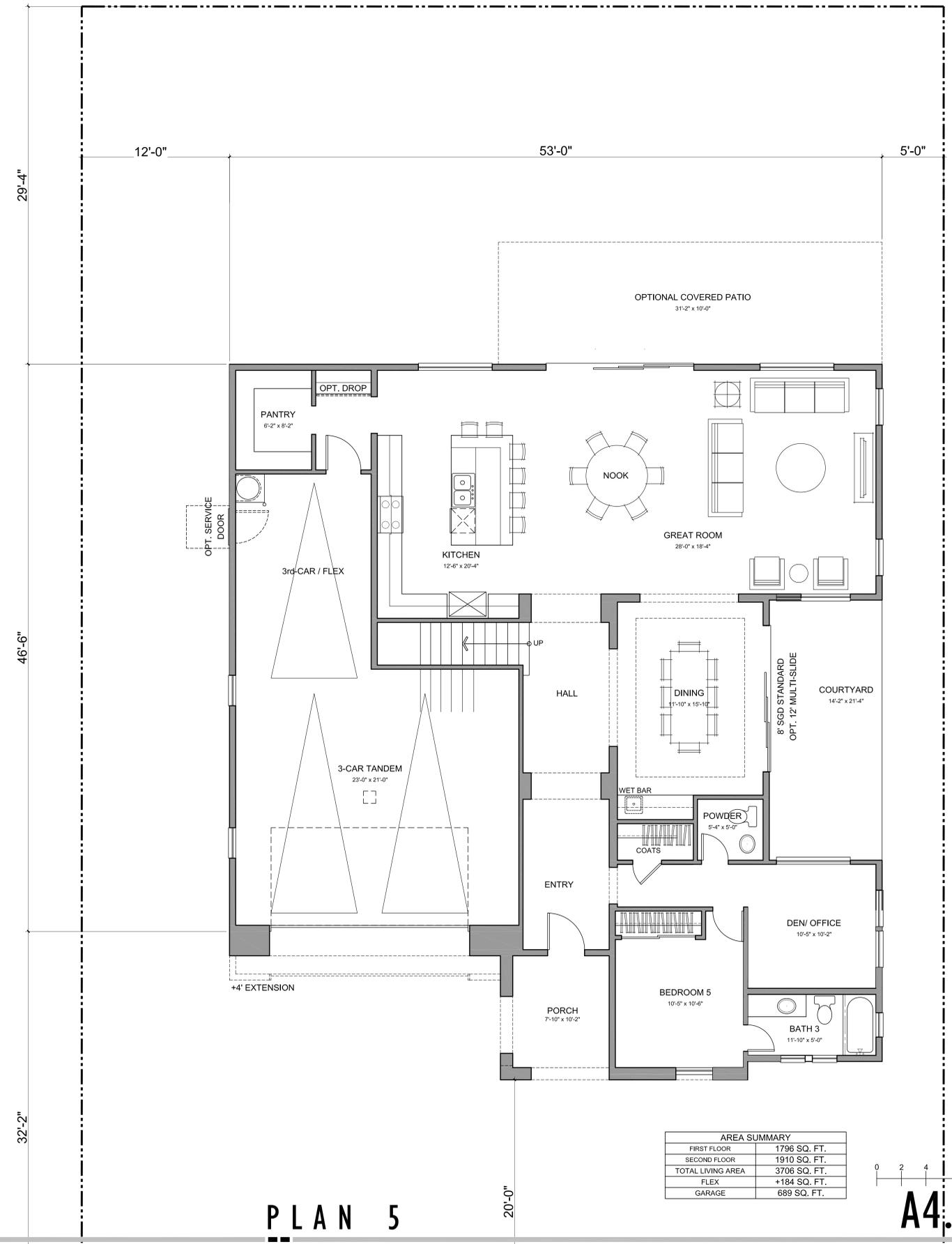
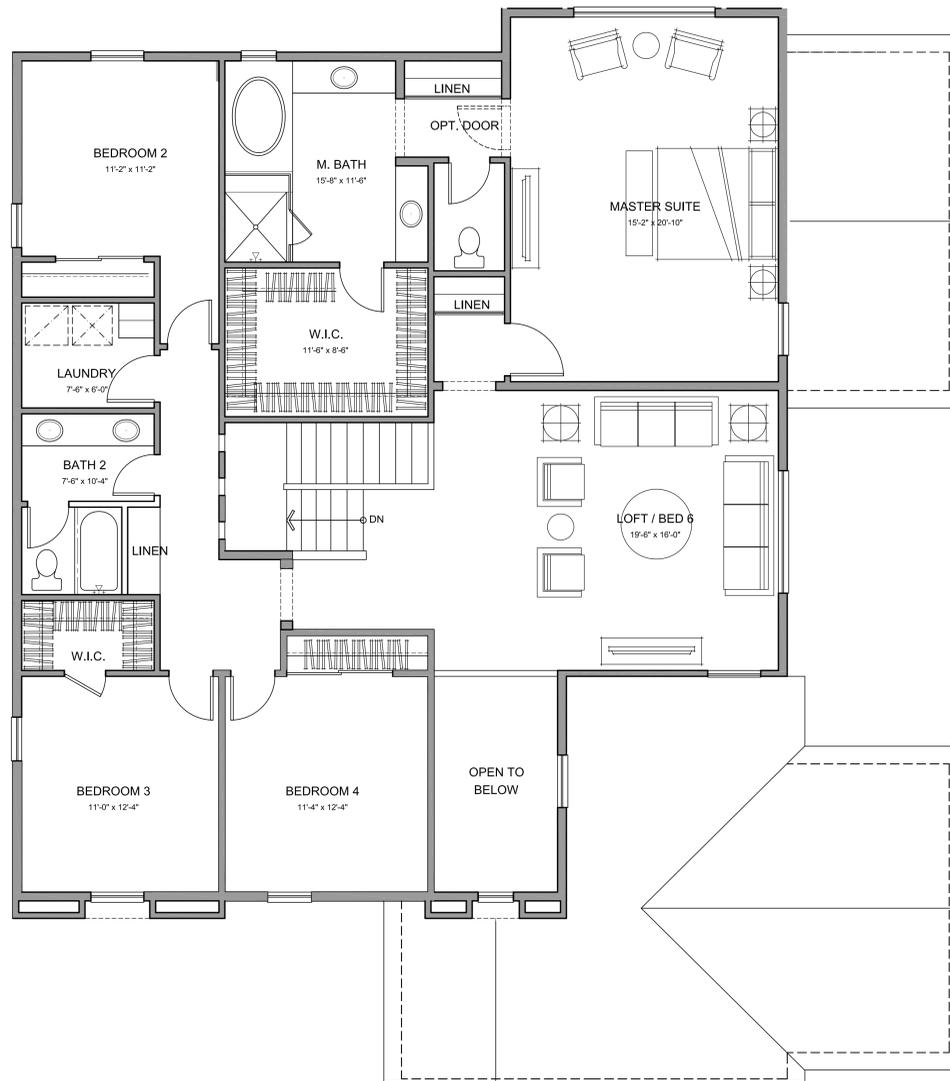
CRAFTSMAN STYLE

- Santa Barbara Style Material Legend:
- * Stucco
 - * Concrete "S" Tile Roofing
 - * Clay Outlookers in Gable End
 - * Shutters
 - * Built-Up Stucco Fascia
 - * Accent Ceramic Tile at Entry Door
 - * Wrought Iron Balcony
 - * Wrought Iron Potshel
 - * Coach Lights



SANTA BARBARA STYLE

Scale 0 4 8 16



AREA SUMMARY	
FIRST FLOOR	1796 SQ. FT.
SECOND FLOOR	1910 SQ. FT.
TOTAL LIVING AREA	3706 SQ. FT.
FLEX	+184 SQ. FT.
GARAGE	689 SQ. FT.

SAN DIMAS

PLAN 5

A4.0



Walbern Development
 28 Monarch Bay Plaza, Suite Q
 Dana Point, CA 92629
 949.276.7570
 walberndevelopment.com

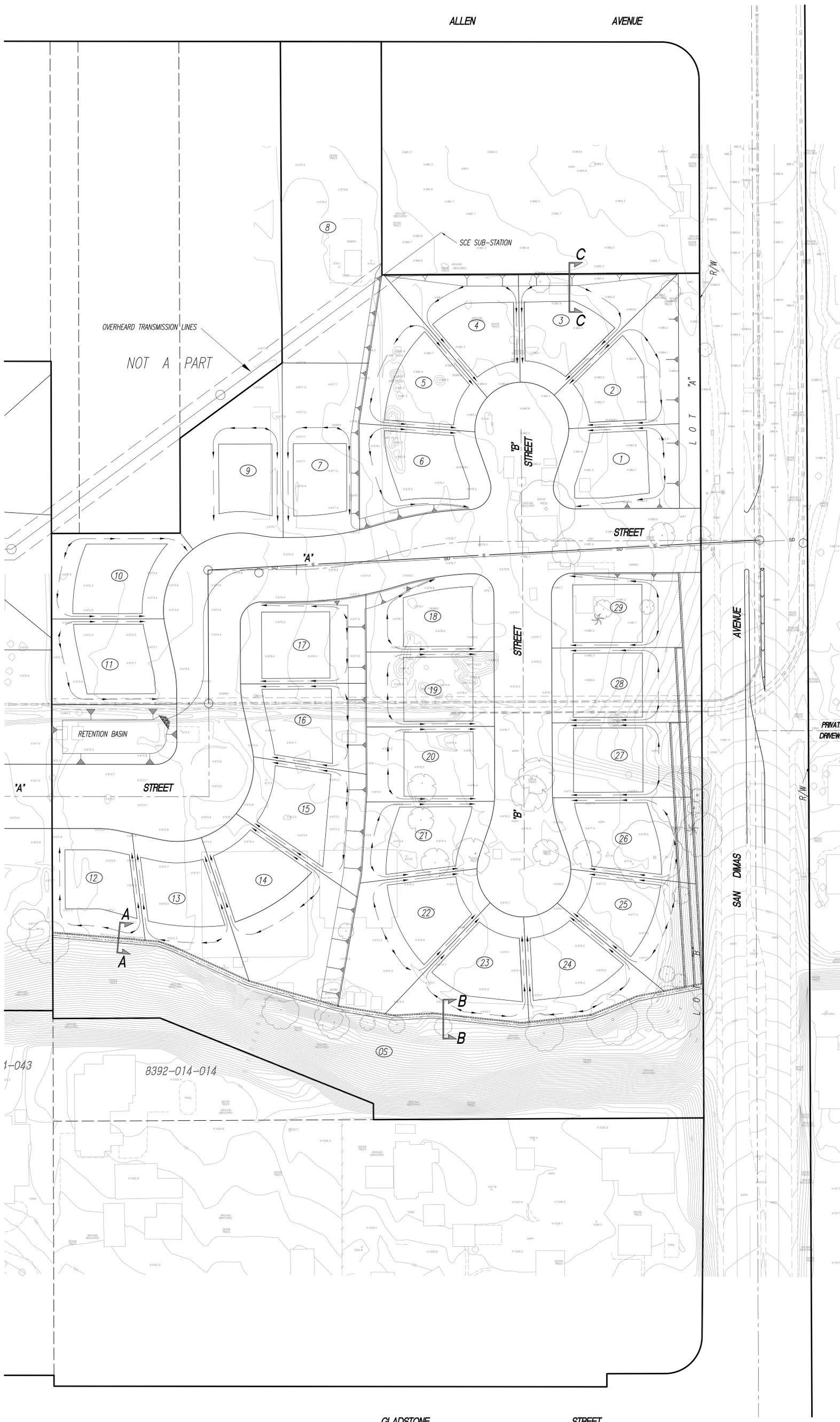
San Dimas, CA
 KTG # 2013-0307
 06/08/2015

KTG Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com



ALLEN

AVENUE



OVERHEAD TRANSMISSION LINES
NOT A PART

SCE SUB-STATION

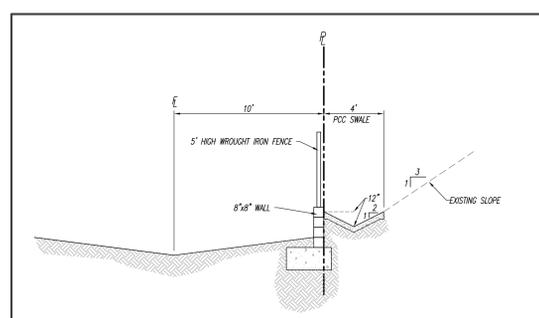
'B' STREET

STREET

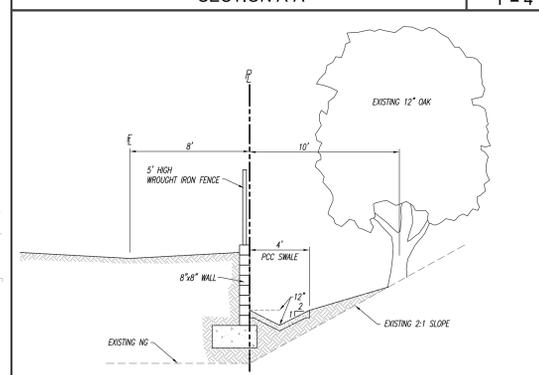
AVENUE

SAN DIMAS

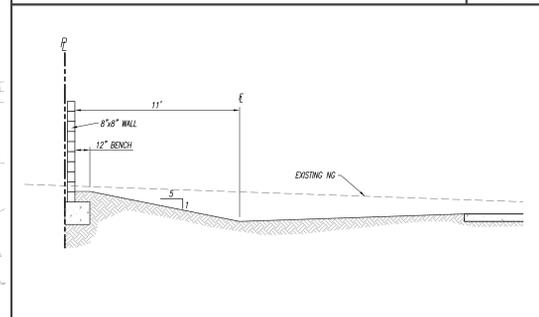
PRIVATE DRIVEWAY



SECTION A-A SCALE: 1" = 4'



SECTION B-B SCALE: 1" = 4'



SECTION C-C SCALE: 1" = 4'

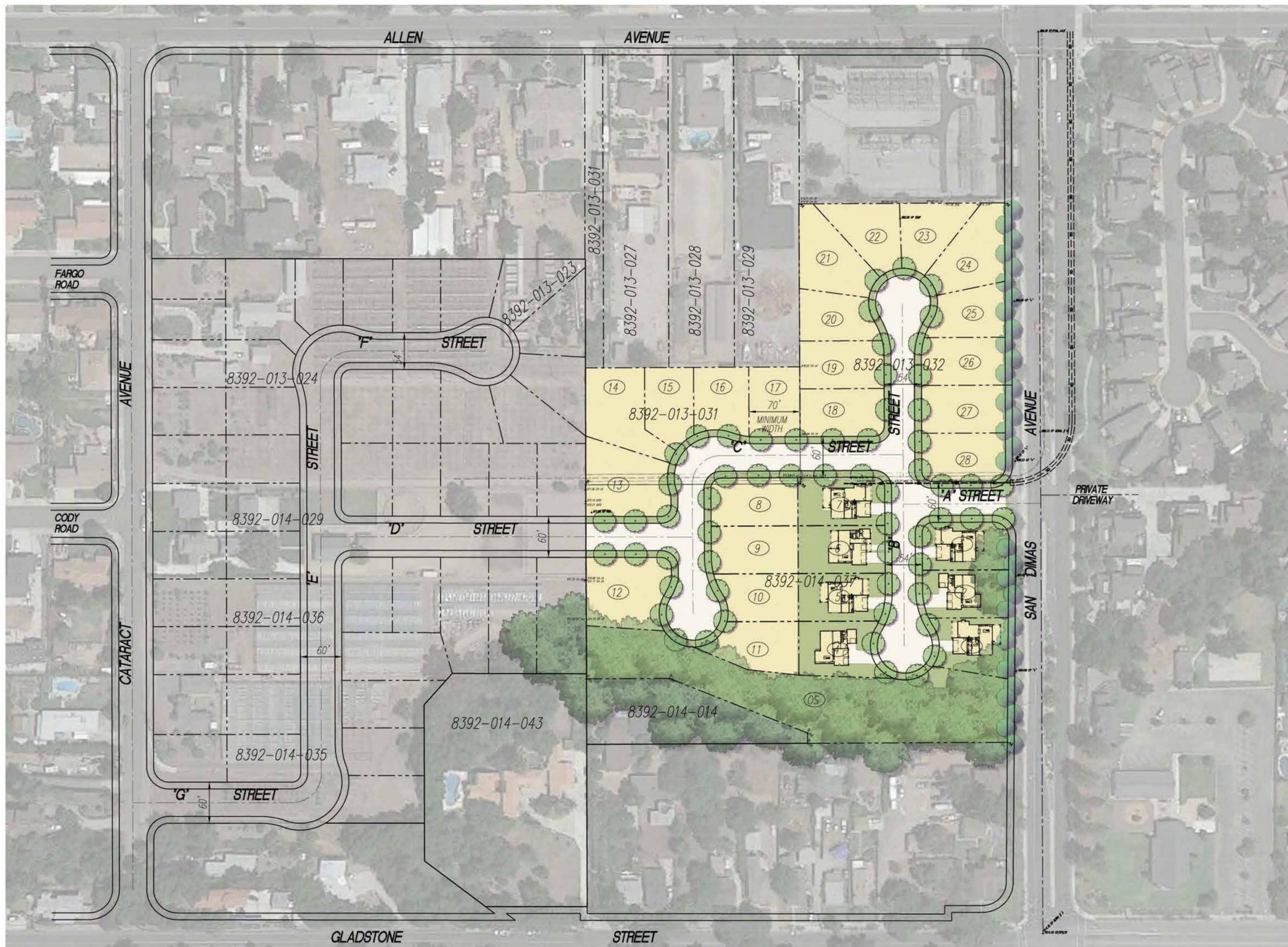


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8392-014-014

GLADSTONE

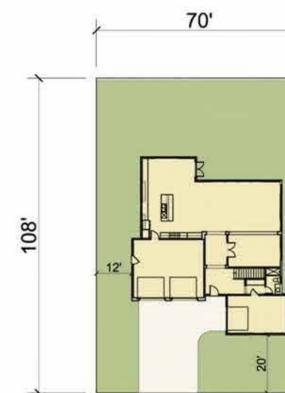
STREET



ZONING

- 7500-9999sf Lots
- Min. Lot Width: 70'
- Height: 35' max (2 stories)
- Front Yard: 20'
- Side Yard:
 - Driveway side: 12'
 - Other side: 5'
- Corner Lots:
 - Interior side: 5' min
 - Corner side: 10' for corner side
- Ground Coverage:
 - Max. 35% of the total area of a lot or parcel

Typical Plot (floor plans may vary):



SITE SUMMARY

- Site Area: ±8.83 Gross Acres
- 70'x108' lots: 28 lots
- Density: ±3.17 du/ac

SAN DIMAS AVENUE

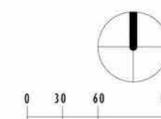
ILLUSTRATIVE SITE PLAN



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San Dimas, California
 KTG # 2014-0096

12.16.2014



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